



Municipality of West Elgin

Agenda

Council Meeting

Date: June 22 2023, 9:30 a.m.
Location: West Elgin Community Complex - Hybrid Meeting
160 Main St
West Lorne
Electronic Hybrid Meeting

This meeting will be held in a Hybrid format. This meeting is broadcasted and the recording made available after the meeting on the municipal website, pending any technical difficulties. If you require an alternate format or accessible communication support or wish to receive the link to the meeting via email please contact the Clerk, at 519-785-0560 or by email at clerk@westelgin.net.

Pages

1. Call to Order

2. Adoption of Agenda

Recommendation:

That the Council of the Municipality of West Elgin hereby adopts the Agenda as presented.

3. Disclosure of Pecuniary Interest

4. Drainage Act

- 4.1 JM Spriet, PEng., Meeting to Consider Engineers Report - Calixte Drain and Primak Drains** 12
- Recommendation:
- That the Council of the Municipality of West Elgin hereby receives the Engineers report as prepared and presented by Mr. J.M. Spriet, P. Eng.; and
- That Council authorizes staff to initiate the tender process, if required, for the reconstruction to the Municipal Drain known as Calixte Drain and Primak Drains, to be considered by Council following the Court of Revision; and
- That Council consider the provisional By-Law 2023-54, as presented in the By-Law portion of the agenda for a first and second reading.
- 4.2 JM Spriet, PEng., Meeting to Consider Engineers Report - Eastlake Drain** 28
- Recommendation:
- That the Council of the Municipality of West Elgin hereby receives the Engineers report as prepared and presented by Mr. J.M. Spriet, P. Eng.; and
- That Council authorizes staff to initiate the tender process, if required, for the reconstruction to the Municipal Drain known as Eastlake Drain, to be considered by Council following the Court of Revision; and
- That Council consider the provisional By-Law 2023-55, as presented in the By-Law portion of the agenda for a first and second reading.
- 4.3 JM Spriet, PEng., Meeting to Consider Engineers Report - Wright Drain** 41
- Recommendation:
- That the Council of the Municipality of West Elgin hereby receives the Engineers report as prepared and presented by Mr. J.M. Spriet, P. Eng.; and
- That Council authorizes staff to initiate the tender process, if required, for the reconstruction to the Municipal Drain known as Wright Drain, to be considered by Council following the Court of Revision; and
- That Council consider the provisional By-Law 2023-56, as presented in the By-Law portion of the agenda for a first and second reading.

Recommendation:

That the Council of the Municipality of West Elgin hereby receives the Engineers report as prepared and presented by Mr. J.M. Spriet, P. Eng.; and

That Council authorizes staff to initiate the tender process, if required, for the reconstruction to the Municipal Drain known as Stricker Drain, to be considered by Council following the Court of Revision; and

That Council consider the provisional By-Law 2023-55, as presented in the By-Law portion of the agenda for a first and second reading.

5. Public Meeting - Planning - ZBA D-14 9-2023

Recommendation:

That the Council of the Municipality of West Elgin proceed into a Public Meeting pursuant to Section 34 of the Planning Act in order to hear an application to rezone property located at 24424 Pioneer Line.

5.1 Purpose of the Public Meeting

The Municipality of West Elgin has received the above-noted application for lands located on the north side of Pioneer Line, between Kerr Road and the west edge of West Lorne. The subject property is designated Agricultural by the Official Plan and zoned General Agricultural, (A1) Zone under the West Elgin Zoning By-law.

The subject lands are 8.9 ha (22 ac.) in area with frontage along Pioneer Line. The property is currently vacant. The applicant recently purchased the property with the intent of constructing a new dwelling and establishing an agricultural related business on the site. The company designs and manufactures lift kits for field sprayers. A site-specific zoning amendment is required to:

1. establish a definition for agriculture related service use;
2. add agriculture related service use as a site-specific permitted use, and
3. establish supporting provisions to regulate the use.

5.2 Zoning Amendment Application D-14 9-2023 - Recommendation Report - Planning Report 2023-22

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Recommendation:

That West Elgin Council hereby receives the report from Robert Brown, Planner regarding Zoning By-law Amendment Application D-14 9-2023 – 24424 Pioneer Line Recommendation Report (Planning Report 2023-027)

That West Elgin Council approve the zoning amendment for the subject parcel on Pioneer Line to:

- i. add a definition of agriculture-related service use;
- ii. rezone the subject parcel from General Agriculture (A1) Zone to General Agriculture Special Regulation 9 (A1-9) Zone to permit an agriculture-related service use as an additional permitted use, and
- iii. establish site-specific regulations within the A1-9 to scope the size of the proposed agriculture-related service use.

That West Elgin Council consider the by-law to amend the Zoning By-law, as presented in the

by-law portion of the June 22, 2023, Council Agenda.

5.3 Applicants Comments

5.4 Public & Agency Comments

78

5.5 Council Comments

6. Adoption of Minutes

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Recommendation:

That the Minutes of the Regular Council meeting on June 8, 2023 be adopted as circulated and printed.

7. Business Arising from Minutes

8. Consent Agenda

Recommendation:

That the Consent Agenda for June 22, 2023 be received and filed.

8.1 Monthly Staff Reports

8.2 Communications from Other Municipalities

8.2.1 Notice of Application, E 41-23 (22830 Kintyre Line) 106

8.2.2 Notice of No Appeals, E 24-23 (Part of Lot 23, Concession A ED) 108

8.3 Procurement Items within Budget

8.4 Other Items

8.4.1 Four Counties Health Services Foundation, Spring 2023 Newsletter 109

8.4.2 Monarch Butterfly Eclipse Project 113

8.4.3 OPP News Release, dated June 13, 2023 "Working for the Seniors" 116

8.4.4 Seniors Active Living Centres Program Expansion for 2023-2024 118

Ministry for Seniors and Accessibility letter, dated June 5, 2023

8.4.5 AMO Professional Development Line-up for Fall 2023 119

8.4.6 PPS Proposal - Extension of Comment Period to August 4, 2023 122

8.4.7 Community Schools Alliance, Call for Nominations 2023 123

9. Staff Reports

9.1 Building

9.2 Fire

9.3 Emergency Management

9.4 Municipal Drains

9.4.1 Section 78 - Appoint Engineer - Lamont Drain

130

Recommendation:

That the Council of the Municipality of West Elgin hereby receives the report from Terri Towstiuc, Clerk Re: Appoint Engineer, Lamont Drain: and

That Council hereby appoints Spriet Associates, Engineers and Architects, to prepare an Engineers report for the Lamont Drain.

9.5 Operations & Community Services

9.5.1 Port Glasgow Trailer Park Site Changes

131

Recommendation:

That West Elgin Council hereby receives the report from Lee Gosnell, Manager of Operations & Community Services for information purposes

9.6 Planning

9.7 Wastewater

9.8 Water

9.9 Clerk's

9.9.1 Appointment of Deputy Mayor for the Remainder of the 2022-2026 Term of Council

135

Recommendation:

That the Council of the Municipality of West Elgin receives the report from Terri Towstiuc, Clerk re: Filling the Vacancy of the Office of Deputy Mayor; and

That Council consider the by-law to appoint Councillor Tellier to the office of Deputy-Mayor, for the remainder of the 2022-2026 Term of Council, as presented in the by-law portion of the June 22, 2023, Council Agenda; and

That Council direct the Clerk to provide a report to declare the seat of Councillor vacant at the next regular meeting of Council, in accordance with 262 (1) of the *Municipal Act, 2001*; and

That Council direct the Clerk to provide a report detailing options to fill the vacancy of the seat of Councillor for the remainder of the 2022-2026 Term of Council.

9.10 Finance/Administration

9.10.1 West Elgin Strategic Plan Survey

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Recommendation:

That the Council of the Municipality of West Elgin receives the report from Magda Badura, CAO/Treasurer Re: West Elgin Strategic Plan Survey;

And That Council hereby to provide feedback and any additional information they deem relevant for the purpose of the survey;

And That Council approves the West Elgin Strategic Plan Survey and directs its distribution to the public.

Recommendation:

That the Council of the Municipality of West Elgin receives the report from Magda Badura, CAO/Treasurer Re: Humane Society agreement extension.

That West Elgin Council provide staff with direction to enter into an eighteen (18) month agreement with The Humane Society of London and Middlesex under the key terms as outlined in the attached proposal in the amount of \$10,000 per year plus applicable taxes.

10. Accounts

Recommendation:

That the Mayor and Treasurer are hereby authorized to sign Payment Voucher #6A amounting to \$195,038.78 in settlement of General, Road, Water and Arena Accounts including EFT#6764-6798 online Payments#1183-1188, and Payroll PP12.

11. Consideration of Items Requiring Discussion

11.1 Elgin International Club - Request for Letter of Support

147

Recommendation:

That the Council of the Municipality of West Elgin direct staff to write a letter of support for the events as request by the Elgin International Club.

11.2 Electronic Municipal Signs - Night Time Lighting

11.3 Rodney Park Committee Request for Members

149

Recommendation:

That the following member of Council be appointed to the Rodney Park Committee:

- Councillor _____
- Councillor _____

11.4 Expansion of Seniors Active Living Centres Program, Call for Proposals

150

11.5 Municipality of Brooke-Alvinston, Expression of Interest, Four Counties Transit Services

152

Recommendation:

That the Council of the Municipality of West Elgin hereby receive the letter dated June 16, 2023 from Janet Denkers, Clerk Administrator, Municipality of Brooke-Alvinston Re: Four Counties Transit Service; and

That the Council of the Municipality of West Elgin

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12. Council Inquires/Announcements

12.1 Notice of Motion

12.1.1 Councillor Navackas - Discussion of Council Meeting Start Time

12.2 Statements/Inquires by Councillors

12.3 Matters of Urgency

13. By-Laws

13.1 By-law 2023-53 - ZBA D-14 9-2023

153

Recommendation:

That By-law 2023-53, being a By-Law to Amend the Municipality of West Elgin Comprehensive Zoning By-Law No. 2015-36 for property located at 24424 Pioneer Line, be read a first, second, and third and final time.

13.2 By-law 2023-54, Drainage Works, Calixte Drain and Primak Drains

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Recommendation:

That By-law 2023-54, being a By-Law to provide for drainage works on the Calixte Drain and Primak Drains in the Municipality of West Elgin, be read a first and second time, and provisionally adopted

13.3	By-law 2023-55, Drainage Works, Eastlake Drain	158
	Recommendation: That By-law 2023-55, being a By-Law to provide for drainage works on the Eastlake Drain in the Municipality of West Elgin, be read a first and second time, and provisionally adopted.	
13.4	By-law 2023-56, Drainage Works, Wright Drain	160
	Recommendation: That By-law 2023-56, being a By-Law to provide for drainage works on the Wright Drain in the Municipality of West Elgin, be read a first and second time, and provisionally adopted.	
13.5	By-law 2023-57, Drainage Works, Stricker Drain	162
	Recommendation: That By-law 2023-57, being a By-Law to provide for drainage works on the Stricker Drain in the Municipality of West Elgin, be read a first and second time, and provisionally adopted.	
13.6	By-law 2023-58 - Agreement for Mandatory and Non-Mandatory Service, Lower Thames Valley Conservation Authority	164
	Recommendation: That By-law 2023-58, being a by-law to authorize an Agreement with the Lower Thames Valley Conservation Authority, be read a first, second and third and final time.	
13.7	By-law 2023-59 - Collective Agreement, Canadian Union of Public employees (CUPE), Local 35.8	165
	Recommendation: That By-law 2023-59, being a by-law to authorize an Agreement with Canadian Union of Public employees (CUPE) Local 35.8, be read a first, second and third and final time.	
13.8	By-law 2023-60, Appointment of Deputy-Mayor	167
	Recommendation: That By-law 2023-60, being a by-law to Provide for the Appointment of a Person in the Office of the Deputy-Mayor, be read a first, second and third and final time.	

14. By-law 2023-61, Confirming By-Law

168

Recommendation:

That By-law 2023-61, being a By-law to confirm the proceedings of the Regular Meeting of Council held on June 22, 2023, be read a first, second and third and final time.

15. Adjournment

Recommendation:

That the Council of the Municipality of West Elgin hereby adjourn at _____ to meet again at 9:30 a.m. on Thursday June 20, 2023, or at the call of the Chair.

CALIXTE DRAIN AND PRIMAK DRAINS

Municipality of West Elgin



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Our Job No. 223025

May 2, 2023

London, Ontario
May 2, 2023

CALIXTE DRAIN AND PRIMAK DRAINS

Municipality of West Elgin

To the Mayor and Council of
the Municipality of West Elgin

Mayor and Council:

We are pleased to present our report on the reconstruction of the Calixte Municipal Drain and the Primak Municipal Drain serving parts of Lots 14 and 15, Concessions 2 and 3 (geographic Aldborough) in the Municipality of West Elgin. The total watershed area contains approximately 57 hectares.

AUTHORIZATION

This report was prepared pursuant to Section 78 of the Drainage Act. Instructions were received from your Municipality with respect to a motion of Council. The work was initiated by a request signed by some of the affected landowners.

HISTORY

The Calixte and Primak Drains were last reconstructed pursuant to a report submitted by A.J. DeVos, P. Eng. dated December 1, 1970 and consisted of 219 lineal meters of open ditch (Calixte Drain) and 454 lineal meters of 200mm (8") to 250mm (10") diameter farm tile (Primak Drain).

Prior to this, the Calixte Drain was constructed pursuant to a report by H.H. Todgham, P.Eng., dated February 28, 1961 and consisted of 648 lineal meters of 200mm (8") to 250mm (10") diameter field tile. Approximately 175 lineal meters of open drain was also constructed at this time.

EXISTING DRAINAGE CONDITIONS

A site meeting held with respect to the project and through later discussions, the owners reported the following:

- that the owner, W. Charlot Grains Ltd. (Roll No. 11-056), requested that the drains be replaced and brought to today's standards as they were intending to systematically tile drain their lands in the future. They also requested that, if feasible, the tile drain be extended approximately 100 meters downstream and that a portion of ditch be backfilled



EXISTING DRAINAGE CONDITIONS (cont'd)

- that the consensus among the landowners present indicated that the drain was no longer functioning properly. They noted that portions of the drain were subject to prolonged periods of standing water.
- the owner, Deere Run Farms Ltd. (Roll No. 11-040), indicated that improvements were required and requested that the drain be replaced in their lands.

A field investigation and survey were completed. Upon reviewing our findings, we note the following:

- that the existing drain is undersized by today's standards
- that the tile drain could easily be extended downstream to allow for a portion of drain to be backfilled

Preliminary design, cost estimates and assessments were prepared, and an informal public meeting was held to review the findings and preliminary proposals. Further input and requests were provided by the affected owners at that time and at later dates. Based on the proposed design it was decided to proceed with the report.

DESIGN CONSIDERATIONS

The Drainage Coefficient method contained in the "DRAINAGE GUIDE FOR ONTARIO", Publication 29 by the Ontario Ministry of Agriculture, Food, and Rural Affairs (OMAFRA) is typically used to design municipal drains. The Drainage Coefficient defines a depth of water that can be removed in a 24-hour period and is expressed in millimetres per 24 hours. The coefficient used to design this drain with respect to capacity was 38mm per 24 hrs.

We would like to point out that there have been no indications of any adverse soil conditions. It should be noted that no formal soil investigation has been made, with this information being provided by the owners.

The proposed design and report have been generally completed using the "GUIDE FOR ENGINEERS WORKING UNDER THE DRAINAGE ACT IN ONTARIO" OMAFRA Publication 852.

RECOMMENDATIONS

We are therefore recommending the following:

- that the existing Calixte Drain be reconstructed starting approx. 100m meters downstream of the existing tile outlet and head north through the lands of W. Charlot Grains Ltd. (Roll No. 11-056) to the junction of the Primak Drain, for a length of approximately 279 lineal meters, then head east through the lands of W. Charlot Grains Ltd. (Roll No. 11-056) under Henry Road, then south down the east side of Henry Road and then back west under Henry Road, for a total length of approximately 527 lineal meters



RECOMMENDATIONS (cont'd)

- that approximately 100 lineal meters of existing Calixte Open Drain be backfilled as the new tile outlet is located downstream and a overflow swale be installed in the location of the backfilled ditch for larger storm events.
- that the existing Primak Drain be replaced from Sta. 0+279 of the Calixte Drain and head north through the lands of W. Charlot Grains Ltd. (Roll No. 11-056), across Johnston Line (County Road 103), to the lands of Deere Run Farms Ltd. (Roll No. 11-040), then head east in those lands for 189 lineal meters, and then back into the Johnston Line (County Road 103) road allowance to its head, for a total lineal length of approximately 272 lineal meters
- that catchbasins be installed along Henry Road and Johnston Line to collect roadside drainage.
- that the existing closed Calixte and Primak Drains be officially abandoned from municipal status pursuant to Section 19 of the Drainage Act
- that the Calixte open drain be officially abandoned, and that the remaining open portion be included under the Calixte Drain closed portion for future maintenance

ENVIRONMENTAL CONSIDERATIONS AND MITIGATION MEASURES

There are no significant wetlands or sensitive areas within the affected watershed area or along the route of the drains. The proposed construction of the Calixte Drain and Primak Drain includes quarry stone outlet protection and surface inlets which greatly help reduce the overland surface flows and any subsequent erosion. A temporary flow check of silt fencing is to be installed in the ditch downstream of the tile outlet for the duration of the construction.

The proposal was also reviewed with the L.T.V.C.A. and they indicated the project was within their parameters and would issue a permit when it was required.

SUMMARY OF PROPOSED WORK

The proposed work consists of approximately 10 lineal meters of open ditch construction, 84 lineal meters of open ditch incorporation including quarry stone rip-rap bank protection and rock chutes; approximately 1102 lineal meters of 200mm (8") to 525mm (21") diameter concrete field tile and H.D.P.E. sewer pipe, including related appurtenances.



SCHEDULES

Four schedules are attached hereto and form part of this report, being Schedule 'A' - Allowances, Schedule 'B' - Cost Estimate, Schedule 'C' - Assessment for Construction, and Schedule 'D' - Assessment for Maintenance.

Schedule 'A' - Allowances. In accordance with Sections 29 and 30 of the Drainage Act, allowances are provided for right-of-way and damages to lands and crops along the route of the drain as defined below.

Schedule 'B' - Cost Estimate. This schedule provides for a detailed cost estimate of the proposed work which is in the amount of \$ 203,000.00. This estimate includes engineering and administrative costs associated with this project.

Schedule 'C' - Assessment for Construction. This schedule outlines the distribution of the total estimated cost of construction over the roads and lands which are involved.

Schedule 'D' - Assessment for Maintenance. In accordance with Section 38 of the Drainage Act, this schedule outlines the distribution of future repair and/or maintenance costs for portions of, or the entire drainage works.

Drawing No. 1, Job No. 223025, and specifications form part of this report. They show and describe in detail the location and extent of the work to be done and the lands which are affected.

ALLOWANCES

DAMAGES: Section 30 of the Drainage Act provides for the compensation to landowners along the drain for damages to lands and crops caused by the construction of the drain. The amounts granted are based on the following:

- a) for closed drain installed with wheel machine - \$3,613.00/ha.
- b) for open ditch work through bush with excavated material levelled adjacent to drain - \$2,500.00/ha.

These base rates are multiplied by the hectares derived from the working widths shown on the plans and the applicable lengths.

RIGHT-OF-WAY Section 29 of the Drainage Act provides for an allowance to the owners whose land must be used for the construction, repair, or future maintenance of a drainage works.

For tile drains where the owners will be able to continue to use the land, the allowance provides for the right to enter upon such lands, and at various times for the purpose of inspecting such drain, removing obstructions, and making repairs. Also, the allowance provides for the restrictions imposed on those lands to protect the right-of-way from obstruction or derogation. The amounts granted for right-of-way on tile drains is based on a percentage of the value of the land designated for future maintenance. Therefore, the amounts granted are based on \$6,670.00/ha. through cropped lands. This value is multiplied by the hectares derived from the width granted for future maintenance and the applicable lengths.



ALLOWANCES (cont'd)

For open ditches, the allowance provides for the loss of land due to the construction provided for in the report. The amounts granted are based on the value of the land, and the rate used was \$45,000.00/ha. When any buffer strip is incorporated and/or created, the allowance granted is for any land beyond a 1.8-meter width deemed to have always been part of the drain. For existing open ditches, the right-of-way to provide for the right to enter and restrictions imposed on those lands, is deemed to have already been granted.

ASSESSMENT DEFINITIONS

In accordance with the Drainage Act, lands that make use of a drainage works are liable for assessment for part of the cost of constructing and maintaining the system. These liabilities are known as benefit, outlet liability and special benefit liability as set out under Sections 22, 23, 24 and 26 of the Act.

BENEFIT as defined in the Drainage Act means the advantages to any lands, roads, buildings or other structures from the construction, improvement, repair, or maintenance of a drainage works such as will result in a higher market value or increased crop production or improved appearance or better control of surface or sub-surface water, or any other advantages relating to the betterment of lands, roads, buildings, or other structures.

OUTLET liability is assessed to lands or roads that may make use of a drainage works as an outlet either directly or indirectly through the medium of any other drainage works or of a swale, ravine, creek, or watercourse.

In addition, a Public Utility or Road Authority shall be assessed for and pay all the increased cost to a drainage works due to the construction and operation of the Public Utility or Road Authority. This may be shown as either benefit or special assessment.

ASSESSMENT

A modified "Todgham Method" was used to calculate the assessments shown on Schedule 'C'- Assessment for Construction. This entailed breaking down the costs of the drain into sections along its route. Special Assessments were then extracted from each section.

The remainder is then separated into Benefit and Outlet costs. The Benefit cost is distributed to those properties receiving benefit as defined under "Assessment Definitions", with such properties usually being located along or close to the route of the drain. The Outlet Costs are distributed to all properties within the watershed area of that section on an adjusted basis. The areas are adjusted for location along that section, and relative run-off rates. Due to their different relative run-off rates, forested lands have been assessed for outlet at lower rates than cleared lands. Also, roads and residential properties have been assessed for outlet at higher rates than cleared farmlands.

The actual cost of the work involving this report, with the exception of Special Assessments, is to be assessed on a pro-rata basis against the lands and roads liable for assessment for benefit, outlet, and for special assessments as shown in detail below and on Schedule 'C' - Assessment for Construction. The Special Assessments shall be levied as noted in the Section "Special Assessment".



SPECIAL ASSESSMENT

In accordance with Section 26 of the Drainage Act, Special Assessments have been made against the Municipality of West Elgin being the increased cost to the drainage work for installing two H.D.P.E. pipes across their road allowance on the Calixte Drain due to the construction and operation of Henry Road. The Special Assessment shall be made up of the actual cost of this work and both the final and estimated values of the Special Assessment are to be calculated as follows:

Calixte Drain	Cost of Work	Less Equivalent Drain Cost (Fixed)	Plus Administration Cost	Plus Interest & Net H.S.T.	Special Assessment
Henry Road 375mm	\$6,900.00	\$830.00	\$2,400.00	\$210.00	\$8,680.00
Henry Road 200mm	\$6,100.00	\$720.00	\$2,400.00	\$190.00	\$7,970.00

In accordance with Section 26 of the Drainage Act, a Special Assessment has been made against the County of Elgin being the increased cost to the drainage work for boring a smooth wall steel pipe across their road allowance on the Primak Drain due to the construction and operation of Johnston Line (County Road 103). The Special Assessment shall be made up of the actual cost of this work and both the final and estimated values of the Special Assessment are to be calculated as follows:

Primak Drain	Cost of Work	Less Equivalent Drain Cost (Fixed)	Plus Administration Cost	Plus Interest & Net H.S.T.	Special Assessment
406mm Smooth Wall Steel Pipe	\$23,300.00	\$1,510.00	\$3,800.00	\$640.00	\$26,230.00

The above special assessments shall not apply for future maintenance purposes.

If any additional work is required to the drainage works due to the existence of buried utilities such as gas pipelines, communications cables, etc. or if any of the utilities require relocation or repair, then, the extra costs incurred shall be borne by the utility involved in accordance with the provisions of Section 26 of the Drainage Act.

GRANTS

In accordance with the provisions of Section 85 of the Drainage Act, a grant **may** be available for assessments against privately owned parcels of land which are used for agricultural purposes and eligible for the Farm Property Class Tax rate. Section 88 of the Drainage Act directs the Municipality to make application for this grant upon certification of completion of this drain. The Municipality will then deduct the grant from the assessments prior to collecting the final assessments.

It should be noted that the proposed enclosure is assessed separately and is not eligible for the agricultural grant. We assess the cost of this enclosure entirely to W. Charlot Grains Ltd. (Roll No. 11-056)



MAINTENANCE

Upon completion of construction, all owners are hereby made aware of Sections 80 and 82 of the Drainage Act which forbid the obstruction of or damage or injury to a municipal drain.

After completion, the entire Calixte Drain and Primak Drain shall be maintained by the Municipality of West Elgin at the expense of all upstream lands and roads assessed in Schedule 'D' - Assessment for Maintenance and in the same relative proportions until such time as the assessment is changed under the Drainage Act.

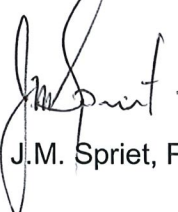
Special Assessments shall **not** be pro-rated for future maintenance purposes.

Repairs or improvements to any road culvert or bridge or sub-surface road crossing required by the performance of this work and for future repair and/or replacement, shall be the responsibility of the applicable Road Authority, entirely at their cost.

Respectfully submitted,

SPRIET ASSOCIATES LONDON LIMITED




J.M. Spriet, P.Eng.



SCHEDULE 'A' - ALLOWANCES

CALIXTE DRAIN & PRIMAK DRAINS

Municipality of West Elgin

In accordance with Sections 29 and 30 of the Drainage Act, we determine the allowances payable to owners entitled thereto as follows:

CONCESSION	LOT	ROLL NUMBER (Owner)	Section 29 Right-of-Way	Section 30 Damages	TOTALS
CALIXTE DRAIN					
3	14	11-056 (W. Charlot Grains Ltd.)	\$ 5,120.00	\$ 4,050.00	\$ 9,170.00
3	15	11-059 (Gurchin Farms Ltd.)	80.00	70.00	150.00
			=====		
Total Allowances			\$ 5,200.00	\$ 4,120.00	\$ 9,320.00
			=====		
TOTAL ALLOWANCES ON THE CALIXTE DRAIN					\$ 9,320.00
PRIMAK DRAIN					
2	14	11-040 (Deere Run Farms Ltd.)	\$ 1,250.00	\$ 1,020.00	\$ 2,270.00
3	14	11-056 (W. Charlot Grains Ltd.)	330.00	270.00	600.00
			=====		
Total Allowances			\$ 1,580.00	\$ 1,290.00	\$ 2,870.00
			=====		
TOTAL ALLOWANCES ON THE PRIMAK DRAIN					\$ 2,870.00
TOTAL ALLOWANCES ON THE CALIXTE DRAIN & PRIMAK DRAINS					\$ 12,190.00

CALIXTE DRAIN & PRIMAK DRAINS**Municipality of West Elgin**

We have made an estimate of the cost of the proposed work which is outlined in detail as follows:

CALIXTE DRAIN

10 meters of open ditch construction and brushing as required including levelling of excavated material adjacent to the drain	\$ 900.00
12 meters of 525mm dia., H.D.P.E. plastic sewer pipe including rodent gate, quarry stone rip-rap protection around pipe and end of ditch (Approximately 6m ³ quarry stone req'd)	
Supply	\$ 1,200.00
Installation	\$ 1,400.00
Installation of the following concrete tile and H.D.P.E. pipe, including supply and installation of geotextile around tile joints.	
24 meters of 200mm dia. H.D.P.E. sewer pipe (Stubs)	\$ 700.00
109 meters of 250mm dia. H.D.P.E. pipe including granular backfill	\$ 3,800.00
386 meters of 400mm dia. concrete tile	\$ 11,600.00
267 meters of 525mm dia. concrete tile (2000-D)	\$ 9,300.00
Supply of the above listed tile/pipe	\$ 33,900.00
Backfilling and Regrading of existing open ditch using on-site materials from ditch banks including removal and breaking up existing headwall, installation of rock chute to existing ditch and any brushing as required (Approx 8m ³ quarry stone req'd)	\$ 7,500.00
16 meters of 375mm H.D.P.E. dia. Sewer pipe	
Supply	\$ 1,000.00
Installation under Henry Road by open cut	\$ 5,900.00
16 meters of 200mm H.D.P.E. dia. Sewer pipe	
Supply	\$ 500.00
Installation under Henry Road by open cut	\$ 5,600.00
Strip, stockpile and relevel topsoil from tile trench and adjacent working area (4m wide) specified on drawings (approx. 762m)	\$ 4,600.00
Supply and install four 600mm x 600mm on-line ditch inlet catchbasin, including grates, berms, ditching, wyes and any required prefab fittings	\$ 10,000.00
Destroy existing drain in place	\$ 1,200.00
Exposing and locating existing tile drains and utilities	\$ 1,000.00
Tile connections and contingencies	\$ 5,300.00
Allowances under Sections 29 & 30 of the Drainage Act	\$ 9,320.00

CALIXTE DRAIN & PRIMAK DRAINS
Municipality of West Elgin

PRIMAK DRAIN

Installation of the following concrete tile, including supply and installation of geotextile around tile joints.

195 meters of 350mm dia. concrete tile	\$ 5,900.00
51 meters of 400mm dia. concrete tile	\$ 1,500.00
Supply of the above listed tile	\$ 6,800.00
26 meters of 406mm dia., 7.9mm thickness smooth wall steel pipe	
Supply	\$ 5,900.00
Installation under Johnston Line by boring	\$ 15,900.00
Grouting of Existing Pipe	\$ 1,500.00
Strip, stockpile and relevel topsoil from tile trench and adjacent working area (4m wide) specified on drawings (approx. 250m)	\$ 1,500.00
Supply and install three 600mm x 600mm on-line ditch inlet catchbasin, including grates, berms, ditching, wyes and any required prefab fittings	\$ 7,500.00
Destroy existing drain in place	\$ 800.00
Exposing and locating existing tile drains and utilities	\$ 500.00
Tile connections and contingencies	\$ 2,500.00
Allowances under Sections 29 & 30 of the Drainage Act	\$ 2,870.00

ADMINISTRATION

Interest and Net Harmonized Sales Tax	\$ 4,660.00
Survey, Plan and Final Report	\$ 24,900.00
Expenses	\$ 960.00
Supervision and Final Inspection	\$ <u>4,590.00</u>
TOTAL ESTIMATED COST	\$ <u>203,000.00</u>

SCHEDULE 'C' - ASSESSMENT FOR CONSTRUCTION

CALIXTE DRAIN & PRIMAK DRAINS

Municipality of West Elgin

Job No. 223025

May 2nd 2023

* = Non-agricultural

CON.	LOT	HECTARES AFFECTED	ROLL No. (OWNER)	BENEFIT	OUTLET	TOTAL
CALIXTE DRAIN						
2	14	12.1	11-040 (Deere Run Farms Ltd.)	\$	\$ 5,165.00	\$ 5,165.00
2	15	0.8	11-041 (G. & L. Verhelle)		1,033.00	1,033.00
3	14	22.2	11-056 (W. Charlot Grains Ltd.)	39,940.00	7,166.00	47,106.00
			Non-Grantable Enclosure	20,600.00		20,600.00
3	Pt. 14	1.0	11-056-01 (W. Wardle)		1,136.00	1,136.00
3	Pt. 15	0.6	11-058-02 (R. Cedar)		852.00	852.00
3	15	15.6	11-059 (Gurchin Farms Ltd.)	3,090.00	18,129.00	21,219.00
TOTAL ASSESSMENT ON LANDS				\$ 63,630.00	\$ 33,481.00	\$ 97,111.00
Johnston Line				\$	\$ 3,409.00	\$ 3,409.00
Morrison Road					1,704.00	1,704.00
O'Malley Road					1,937.00	1,937.00
Henry Road				15,590.00	3,099.00	18,689.00
TOTAL ASSESSMENT ON ROADS				\$ 15,590.00	\$ 10,149.00	\$ 25,739.00
SPECIAL ASSESSMENT against the Municipality of West Elgin for the increased cost of installing a 375mm dia. H.D.P.E. subsurface pipe underneath Henry Road by Open Cut						
						\$ 8,680.00
SPECIAL ASSESSMENT against the Municipality of West Elgin for the increased cost of installing a 200mm dia. H.D.P.E subsurface pipe underneath Henry Road by Open Cut						
						\$ 7,970.00
TOTAL ASSESSMENT ON THE CALIXTE DRAIN						\$ 139,500.00
PRIMAK DRAIN						
2	14	12.1	11-040 (Deere Run Farms Ltd.)	\$ 5,900.00	\$ 5,368.00	\$ 11,268.00
3	14	1.6	11-056 (W. Charlot Grains Ltd.)	3,090.00	200.00	3,290.00
TOTAL ASSESSMENT ON LANDS				\$ 8,990.00	\$ 5,568.00	\$ 14,558.00
Johnston Line				\$ 13,840.00	\$ 4,436.00	\$ 18,276.00
Morrison Road					4,436.00	4,436.00
TOTAL ASSESSMENT ON ROADS				\$ 13,840.00	\$ 8,872.00	\$ 22,712.00

SCHEDULE 'C' - ASSESSMENT FOR CONSTRUCTION (cont'd)

CALIXTE DRAIN & PRIMAK DRAINS
Municipality of West Elgin

CON.	HECTARES LOT AFFECTED	ROLL No. (OWNER)	BENEFIT	OUTLET	TOTAL
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PRIMAK DRAIN (cont'd)

SPECIAL ASSESSMENT against the County of Elgin for the increased cost of installing a 400mm (16") dia. Smooth Wall Steel Pipe under Johnston Line by boring including grouting of existing C.S.P. pipe \$ 26,230.00

TOTAL ASSESSMENT ON THE PRIMAK DRAIN \$ **63,500.00**

TOTAL ASSESSMENT ON THE CALIXTE DRAIN & PRIMAK DRAINS \$ **203,000.00**

SCHEDULE 'D' - ASSESSMENT FOR MAINTENANCE

CALIXTE DRAIN & PRIMAK DRAINS

Municipality of West Elgin

Job No. 223025

May 2nd 2023

CON.	LOT	HECTARES AFFECTED	ROLL No. (OWNER)	PERCENTAGE OF MAINTENANCE COST
CALIXTE DRAIN				
2	14	12.1	11-040 (Deere Run Farms Ltd.)	7.1 %
2	15	0.8	11-041 (G. & L. Verhelle)	1.4
3	14	22.2	11-056 (W. Charlot Grains Ltd.)	37.2
3	Pt. 14	1.0	11-056-01 (W. Wardle)	1.6
3	15	0.6	11-058-02 (R. Cedar)	1.2
3	15	15.6	11-059 (Gurchin Farms Ltd.)	27.0
				=====
TOTAL ASSESSMENT ON LANDS				75.5 %
				=====
Johnston Line		2.0	County of Elgin	4.7 %
Morrison Road		1.0	County of Elgin	2.3
O'Malley Road		0.5	Municipality of West Elgin	2.7
Henry Road		0.8	Municipality of West Elgin	14.8
				=====
TOTAL ASSESSMENT ON ROADS				24.5 %
				=====
TOTAL ASSESSMENT FOR MAINTENANCE ON THE CALIXTE DRAIN				<u>100.0 %</u>
PRIMAK DRAIN				
2	14	12.1	11-040 (Deere Run Farms Ltd.)	32.2 %
3	14	1.6	11-056 (W. Charlot Grains Ltd.)	6.7
				=====
TOTAL ASSESSMENT ON LANDS				38.9 %
				=====
Johnston Line		2.0	County of Elgin	43.9 %
Morrison Road		1.0	County of Elgin	17.2
				=====
TOTAL ASSESSMENT ON ROADS				61.1 %
				=====
TOTAL ASSESSMENT FOR MAINTENANCE ON THE PRIMAK DRAIN				<u>100.0 %</u>

SCHEDULE OF NET ASSESSMENT

CALIXTE DRAIN & PRIMAK DRAINS

Municipality of West Elgin

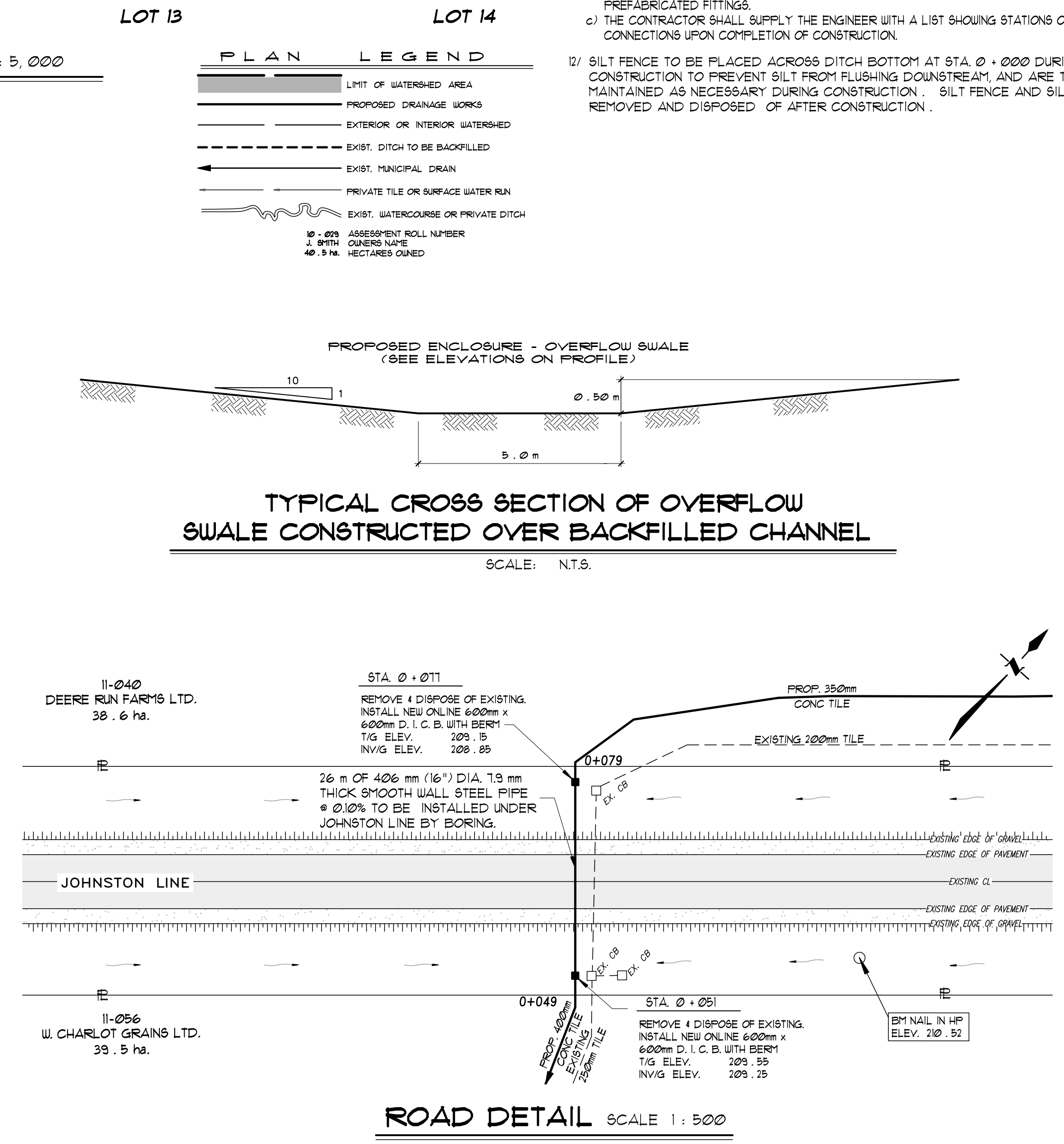
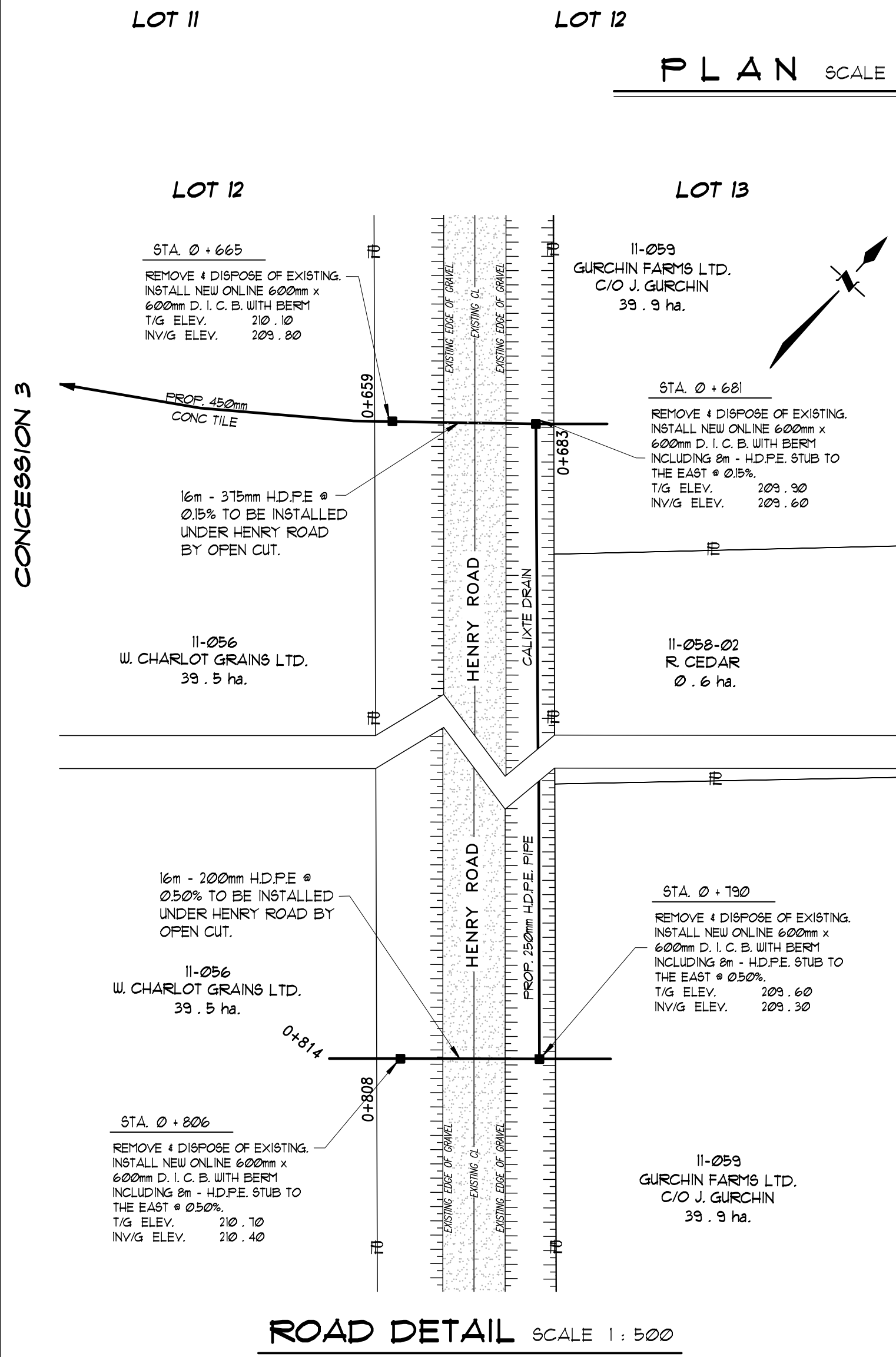
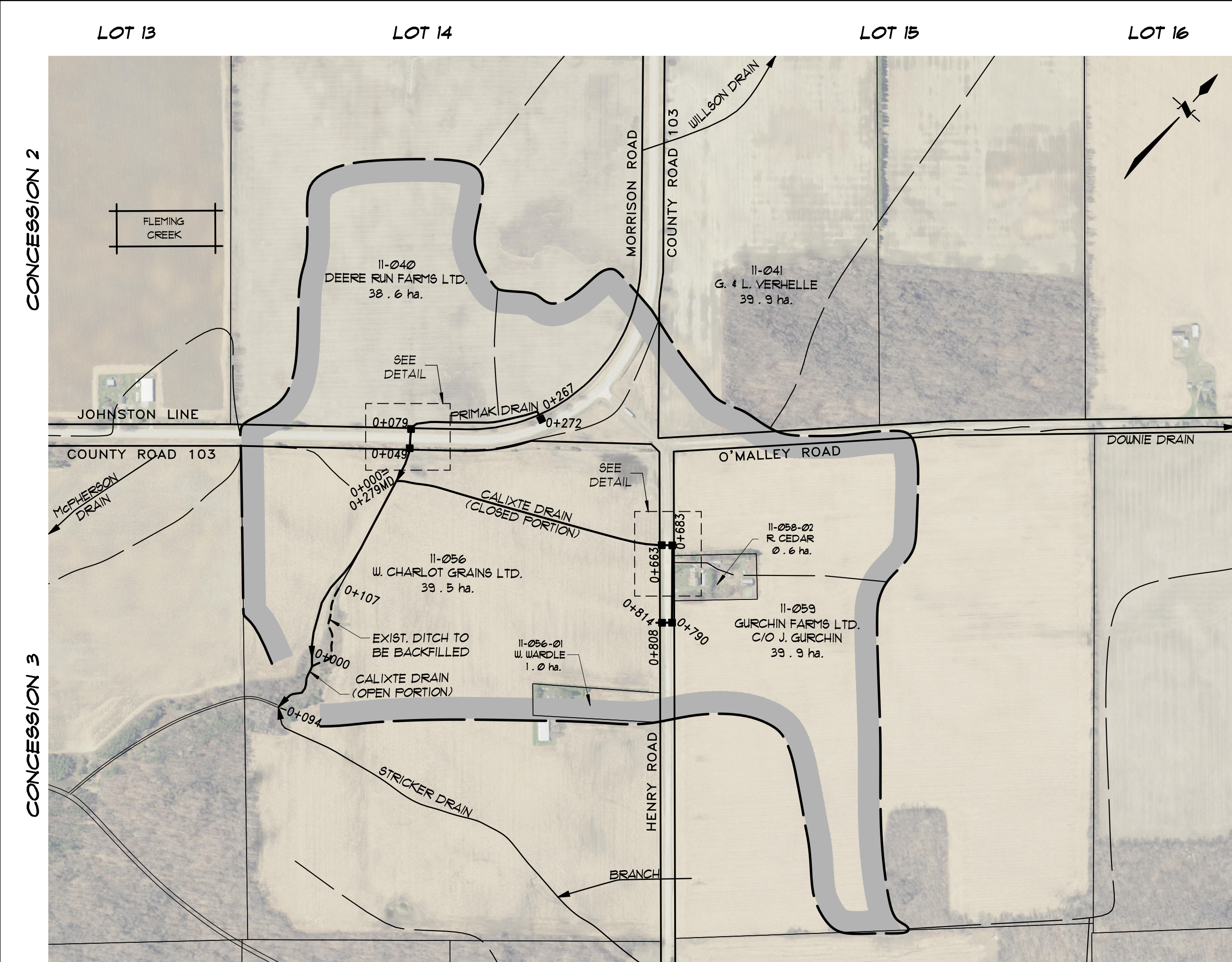
(FOR INFORMATION PURPOSES ONLY)

Job No. 223025

May 2nd 2023

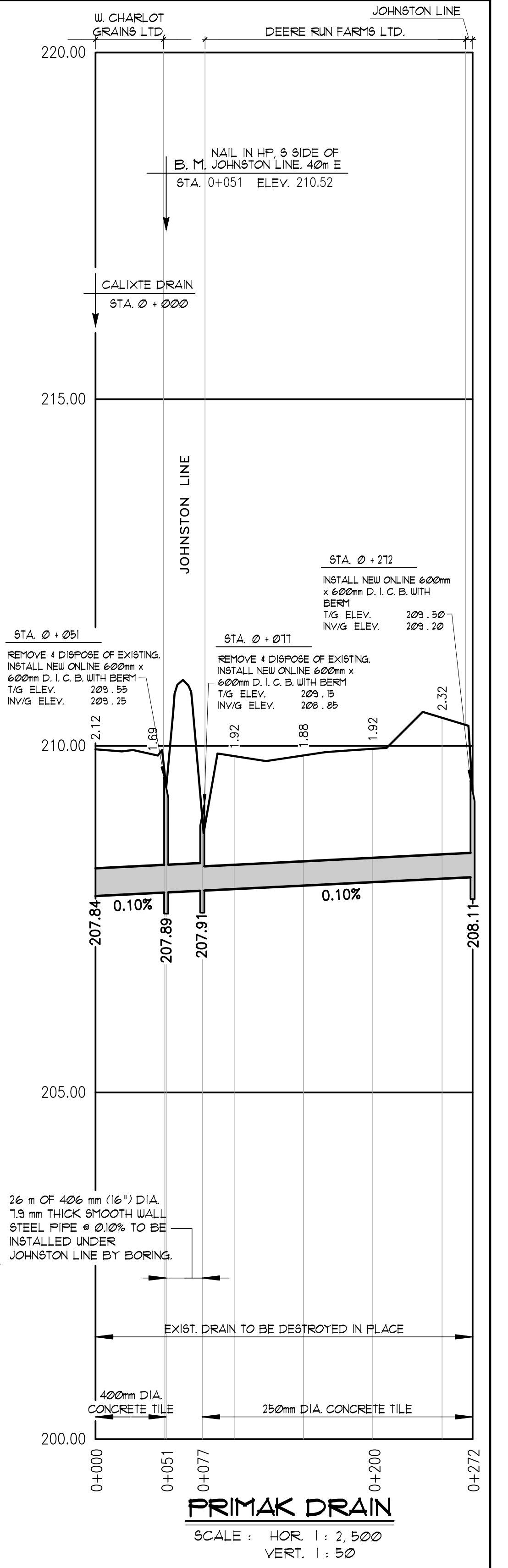
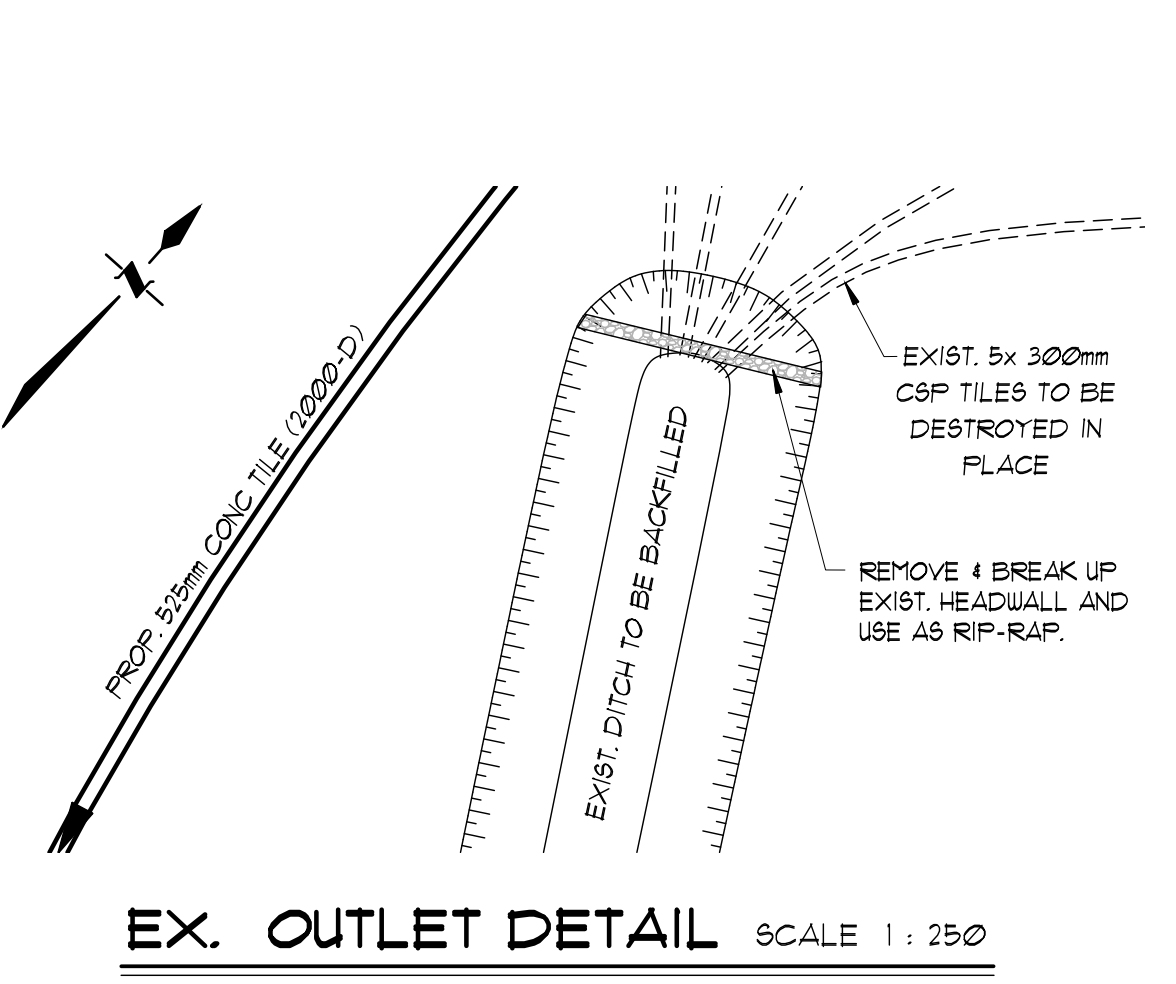
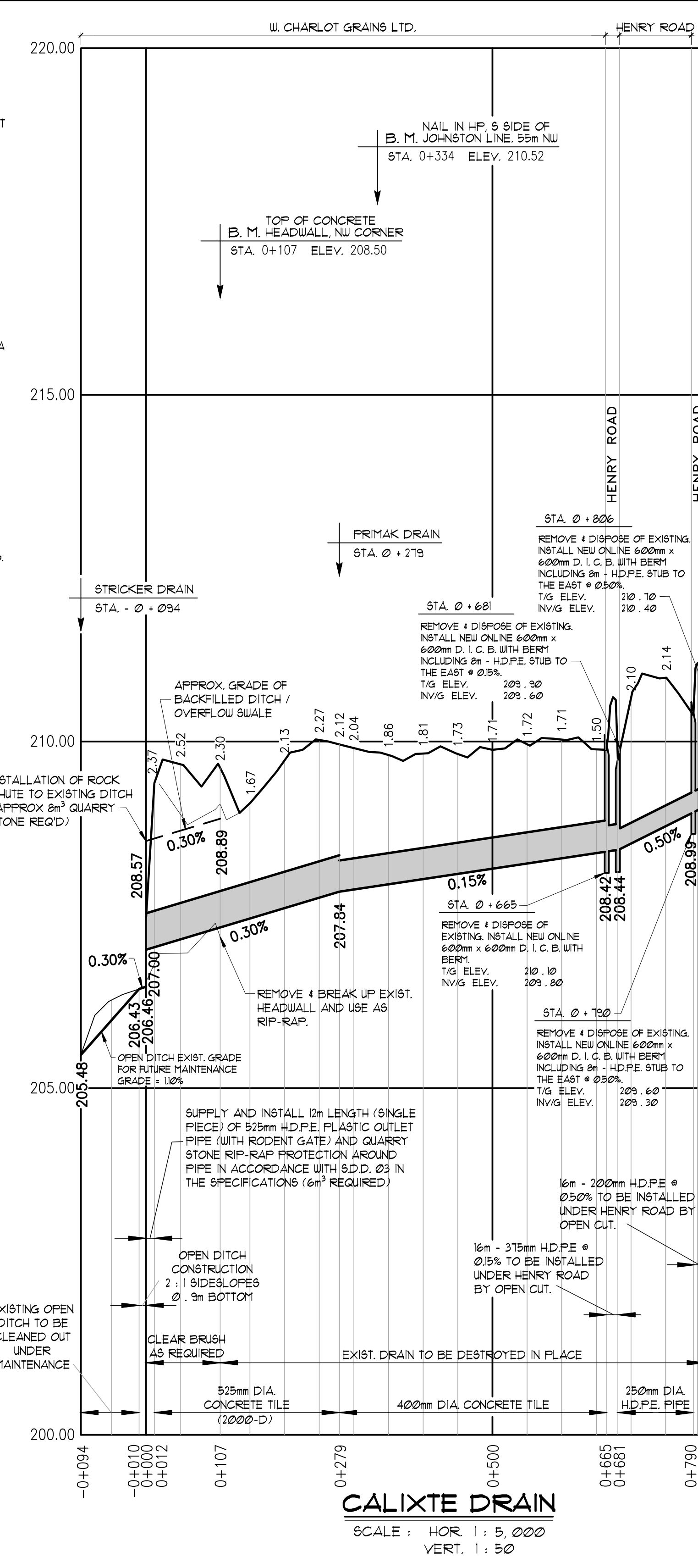
* = Non-agricultural

ROLL NUMBER (OWNER)	TOTAL ASSESSMENT	GRANT	ALLOWANCES	APPROX. NET
11-040 (Deere Run Farms Ltd.)	\$ 16,433.00	\$ 5,478.00	\$ 2,270.00	\$ 8,685.00
11-041 (G. & L. Verhelle)	1,033.00	344.00		689.00
11-056 (W. Charlot Grains Ltd.)	50,396.00	16,799.00	9,770.00	23,827.00
* ***Non-Grantable Enclosure***	20,600.00			20,600.00
* 11-056-01 (W. Wardle)	1,136.00			1,136.00
* 11-058-02 (R. Cedar)	852.00			852.00
11-059 (Gurchin Farms Ltd.)	21,219.00	7,073.00	150.00	13,996.00
Johnston Line	21,685.00			21,685.00
Special Assessment	26,230.00			26,230.00
Morrison Road	6,140.00			6,140.00
O'Malley Road	1,937.00			1,937.00
Henry Road	18,689.00			18,689.00
Special Assessment	8,680.00			8,680.00
Special Assessment	7,970.00			7,970.00
TOTALS	\$ 203,000.00	\$ 29,694.00	\$ 12,190.00	\$ 161,116.00



GENERAL NOTES

- OUR SPECIFICATIONS DATED JANUARY 2020 APPLY TO THIS PROJECT.
 - THE WORKING WIDTH AVAILABLE TO THE CONTRACTOR TO CONSTRUCT THE NEW DRAINS SHALL CONSIST OF THOSE LANDS IMMEDIATELY ADJACENT TO THE DRAIN AND CONNECTIONS AND SHALL NOT EXCEED THE FOLLOWING AVERAGE WIDTHS:
CLOSED PORTIONS 15 METERS
THE WORKING WIDTH FOR PURPOSES OF FUTURE MAINTENANCE SHALL BE 10m.
 - ALL OWNERS ALONG THE COURSE OF THE DRAIN SHALL MAKE AN ACCESS ROUTE FROM THE NEAREST ROAD TO THE DRAIN LOCATION AVAILABLE TO THE CONTRACTOR THE AVERAGE WIDTH OF THIS ROUTE SHALL NOT EXCEED 9 METERS. THE ACCESS ROUTE SHALL ALSO APPLY FOR FUTURE MAINTENANCE PURPOSES.
 - ALL UTILITIES TO BE LOCATED AND EXPOSED PRIOR TO CONSTRUCTION SO THAT THE NEW TILE GRADES CAN BE CONFIRMED. IF THERE IS A CONFLICT IN ELEVATION BETWEEN THE PROPOSED DRAIN AND THE UTILITY, THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY.
b) CONTRACTOR TO NOTIFY ALL UTILITIES 12 HOURS PRIOR TO HIS SCHEDULED TIME FOR STARTING THE ABOVE WORK.
c) THE COST FOR THIS WORK SHALL BE INCLUDED IN THE ITEM ON THE EXTENT OF WORK AND NO EXTRA PAYMENT SHALL BE MADE TO THE CONTRACTOR, EXCEPT IF ROAD RESTORATION IS REQUIRED.
 - ALL TREES, SCRUB, BRUSH, ETC. TO BE CLEARED AND GRUBBED IN ACCORDANCE WITH "SECTION B.3 AND C.4" SPECIFICATIONS.
 - RIP-RAP TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH "SECTION A.28" IN THE SPECIFICATIONS.
 - CONTRACTOR TO ARRANGE A PRE-CONSTRUCTION MEETING WITH THE ENGINEER, DRAINAGE SUPERINTENDENT AND THE AFFECTED OWNERS. ALL PARTIES SHALL RECEIVE 48 HOURS NOTICE TO THE MEETING.
- ## CLOSED PORTIONS
- ALL CONCRETE AND PLASTIC TILE AND PIPE TO CONFORM TO "SECTION C.1" IN THE SPECIFICATIONS.
a) SEWER PIPE TO BE CONCRETE, H. D. P. E. PLASTIC 320 KPA (BELL & SPIGOT WITH RUBBER GASKETS, CONFORMING TO C.S.A. 1026-08), PVC ULTRA RIB OR PVC SDR 35
b) CONCRETE TILE SHALL BE HEAVY DUTY, UNLESS OTHERWISE NOTED ON PROFILE.
c) PLASTIC TILE SHALL BE PERFORATED AGRICULTURAL TUBING WITH FILTER SOCK CONFORMING TO TERRAFIX 200R, TEXEL F-100 ID OR APPROVED EQUAL.
 - EXISTING TILE DRAINS TO BE EXPOSED IN AS MANY LOCATIONS AS ARE NECESSARY TO CONFIRM THEIR EXACT LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. EXACT LOCATION OF NEW TILE DRAINS THEN TO BE CONFIRMED BY DRAINAGE SUPERINTENDENT OR ENGINEER.
 - INSTALLATION OF TILE AND TRENCH WIDTHS SHALL BE IN ACCORDANCE WITH "SECTION C - TILE DRAIN" IN THE SPECIFICATIONS.
b) ALL CONCRETE TILE AND TILE-PIPE JOINTS TO BE WRAPPED WITH GEOTEXTILE IN ACCORDANCE WITH "SECTION C.8" IN THE SPECIFICATIONS.
c) NO CONSTRUCTION EQUIPMENT OR FARM MACHINERY SHALL CROSS OVER THE MOUNDED BACKFILLED TILE TRENCHES UNTIL SUFFICIENT SETTLEMENT HAS OCCURRED.
d) STRIP AND STOCKPILE TOPSOIL FROM CONSTRUCTION AREA (4 METRE WIDE) FOR ENTIRE LENGTH OF NEW DRAIN (EXCEPT LANEWAYS & ROADS). EXCESS SPOIL TO BE LEVELLED AND TOPSOIL RELIEVELLED OVER SPOIL MOUNDED TRENCH AND REMAINING CONSTRUCTION AREA.
 - THE CONTRACTOR SHALL ENSURE THAT ALL TRIBUTARY DRAINS ARE CONNECTED DURING TIME OF CONSTRUCTION. ANY MISSED TILE CONNECTIONS THAT ARE FOUND DURING THE WARRANTY PERIOD OF THE CONTRACT SHALL BE COMPLETED BY THE CONTRACTOR AND SHALL BE PAID THE AMOUNT SET OUT ON PAGE 2 OF THE "FORM OF TENDER". NO ADDITIONAL PAYMENT FOR MOBILIZATION WILL BE ALLOWED. THE CONTRACTOR IS NOT RESPONSIBLE FOR COMPLETING MISSED TILE CONNECTIONS THAT ARE FOUND AFTER THE WARRANTY PERIOD FOR THE CONTRACT HAS EXPIRED.
b) ALL TILE CONNECTIONS TO BE MADE WITH CORING MACHINE AND PLASTIC ADAPTOR OR PREFABRICATED FITTINGS.
c) THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH A LIST SHOWING STATIONS OF ALL TILE CONNECTIONS UPON COMPLETION OF CONSTRUCTION.
 - SILT FENCE TO BE PLACED ACROSS DITCH BOTTOM AT STA. 0+000 DURING CONSTRUCTION TO PREVENT SILT FROM FLUSHING DOWNSTREAM AND ARE TO BE MAINTAINED AS NECESSARY DURING CONSTRUCTION. SILT FENCE AND SILT TO BE REMOVED AND DISPOSED OF AFTER CONSTRUCTION.



CALIXTE DRAIN & PRIMAK DRAIN

Municipality of West Elgin

Drainage Superintendent:	No.	REVISIONS	DATE
TOM MOHAN			
519-785-0560			

Drawn By: MJ & AP	Field Book	JOB No.	Drawing No.
Date: MAY 2, 2023	G.F.S.	223025	1 of 1

PLAN, PROFILE, & DETAIL

SPRIET ASSOCIATES

LONDON CONSULTING ENGINEERS

155 YORK STREET - LONDON (519) 672-4100 - N6A 1A8

EASTLAKE DRAIN
Municipality of West Elgin



**SPRIET
ASSOCIATES**
ENGINEERS & ARCHITECTS
155 York Street
London, Ontario N6A 1A8
Tel. (519) 672-4100
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Email: mail@spriet.on.ca
www.spriet.on.ca

Our Job No. 223031

April 20, 2023

London, Ontario
April 20, 2023

EASTLAKE DRAIN
Municipality of West Elgin

To the Mayor and Council of
the Municipality of West Elgin

Mayor and Council:

We are pleased to present our report on the reconstruction of parts of the Eastlake Municipal Drain serving parts of Lot A, Concessions 10 and 11 (geographic Aldborough) in the Municipality of West Elgin and Lot 1, Concession S.M.R. and N.M.R. (geographic Orford) in the Municipality of West Elgin. The total watershed area contains approximately 91 hectares.

AUTHORIZATION

This report was prepared pursuant to Section 78 of the Drainage Act. Instructions were received from your Municipality with respect to a motion of Council. The work was initiated by a request signed by one of the affected landowners.

HISTORY

The Eastlake Drain was last reconstructed pursuant to a report submitted by H.H. Todgham, P. Eng., dated February 22, 1957, and consisted of approximately 1,219 lineal meters of open ditch reconstruction.

EXISTING DRAINAGE CONDITIONS

A site meeting was held with respect to the project and through later discussions, the owner reported the following:

- that the landowner, 571419 Ontario Ltd. (Roll No. 40-002), inquired as to the possibility of enclosing the open drain through a portion of their lands to improve the workability of them.

A field investigation and survey were completed. Upon reviewing our findings, we note the following:

- that the existing open drain contains an upstream watershed area of that would permit an enclosure



EXISTING DRAINAGE CONDITIONS (cont'd)

- that the enclosure would require the replacement of the road crossing under McPherson Road and McDonald Line
- that the enclosure would greatly improve the workability of the lands requesting it

Preliminary design, cost estimates and assessments were prepared, and an informal public meeting was held to review the findings and preliminary proposals. Further input and requests were provided by the affected owners at that time and at later dates. Based on the proposed design it was decided to proceed with the report.

DESIGN CONSIDERATIONS

The Drainage Coefficient method contained in the "DRAINAGE GUIDE FOR ONTARIO", Publication 29 by the Ontario Ministry of Agriculture, Food, and Rural Affairs (OMAFRA) is typically used to design municipal drains. The Drainage Coefficient defines a depth of water that can be removed in a 24-hour period and is expressed in millimetres per 24 hours. The coefficient used to design this drain with respect to capacity was 38mm.

We would like to point out that there have been no indications of any adverse soil conditions. It should be noted that no formal soil investigation has been made.

The proposed design and report have been generally completed using the "GUIDE FOR ENGINEERS WORKING UNDER THE DRAINAGE ACT IN ONTARIO" OMAFRA Publication 852.

RECOMMENDATIONS

We are therefore recommending the following:

- that the Eastlake Drain - Open Portion be enclosed commencing at the McPherson Road and head northerly through the lands of 571419 Ontario Ltd. (Roll No. 40-002), with its head at the edge of the woods for a total length of approximately 226 lineal meters
- that the road crossing under McPherson Road and McDonald Line be replaced with new crossings and the work be constructed using open cut
- that catchbasins be installed at McPherson Road and the upstream end of the works to alleviate surface flow and allow the open portion at the top end to remain functioning.
- that the existing open drain between McDonald Line and McPherson Road be cleaned out with the excavated material levelled adjacent the drain
- that a pool and riffle be installed at the upstream end of the open portion of the works as requested by the Department of Fisheries.



ENVIRONMENTAL CONSIDERATIONS AND MITIGATION MEASURES

There are no significant wetlands or sensitive areas within the affected watershed area or along the route of the drains. The proposed construction of the Eastlake Drain includes quarry stone outlet protection and surface inlets which greatly help reduce the overland surface flows and any subsequent erosion. A temporary flow check of silt fencing is to be installed in the ditch downstream of the tile outlet for the duration of the construction.

We have reviewed the proposed work with the Department of Fisheries and Oceans (File No. 23-HCAA-00011) and they recommend the following mitigation measure be followed in their letter of advice, the existing open drain is to be isolated prior to any backfilling by installing sediment and erosion controls at the bottom end of the work on the drain.

The proposal was also reviewed with the L.T.V.C.A. and they indicated the project was within their parameters and would issue a permit when it was required.

SUMMARY OF PROPOSED WORK

The proposed work consists of approximately 71 lineal meters of open drain cleanout, including a pool and riffle, 252 lineal meters of 600mm (24") diameter pipe, including related appurtenances, and two new road crossings consisting of 750mm dia. H.D.P.E, and 1400mm dia. C.S.P.

SCHEDULES

Four schedules are attached hereto and form part of this report, being Schedule 'A' - Allowances, Schedule 'B' - Cost Estimate, Schedule 'C' - Assessment for Construction, and Schedule 'D' - Assessment for Maintenance.

Schedule 'A' - Allowances. In accordance with Sections 29 & 30 of the Drainage Act, allowances are provided for right-of-way and damages to lands and crops along the route of the drain as defined below.

Schedule 'B' - Cost Estimate. This schedule provides for a detailed cost estimate of the proposed work which is in the amount of \$ 125,500.00. This estimate includes engineering and administrative costs associated with this project.

Schedule 'C' - Assessment for Construction. This schedule outlines the distribution of the total estimated cost of construction over the roads and lands which are involved.

Schedule 'D' - Assessment for Maintenance. In accordance with Section 38 of the Drainage Act, this schedule outlines the distribution of future repair and/or maintenance costs for portions of, or the entire drainage works.

Drawing No.1 Job No. 223031, and specifications form part of this report. They show and describe in detail the location and extent of the work to be done and the lands which are affected.



ALLOWANCES

DAMAGES: Section 30 of the Drainage Act provides for the compensation to landowners along the drain for damages to lands and crops caused by the construction of the drain. The amount granted is based on \$3,613.00/ha. for closed drain installed with wheel machine. This base rate is multiplied by the hectares derived from the working widths shown on the plans and the applicable lengths.

RIGHT-OF-WAY Section 29 of the Drainage Act provides for an allowance to the owners whose land must be used for the construction, repair, or future maintenance of a drainage works. For open ditches, the allowance provides for the loss of land due to the construction provided for in the report. The amounts granted are based on the value of the land, and the rate used was \$45,000.00/ha. When any buffer strip is incorporated and/or created, the allowance granted is for any land beyond a 1.8-meter width deemed to have always been part of the drain. For existing open ditches, the right-of-way to provide for the right to enter and restrictions imposed on those lands, is deemed to have already been granted.

Under this report no allowance for right-of-way has been given as the area gained by the enclosing of the open drain is deemed sufficient and transferable to the closed drain.

ASSESSMENT DEFINITIONS

In accordance with the Drainage Act, lands that make use of a drainage works are liable for assessment for part of the cost of constructing and maintaining the system. These liabilities are known as benefit, outlet liability and special benefit liability as set out under Sections 22, 23, 24 and 26 of the Act.

BENEFIT as defined in the Drainage Act means the advantages to any lands, roads, buildings or other structures from the construction, improvement, repair, or maintenance of a drainage works such as will result in a higher market value or increased crop production or improved appearance or better control of surface or sub-surface water, or any other advantages relating to the betterment of lands, roads, buildings, or other structures.

OUTLET liability is assessed to lands or roads that may make use of a drainage works as an outlet either directly or indirectly through the medium of any other drainage works or of a swale, ravine, creek, or watercourse.

In addition, a Public Utility or Road Authority shall be assessed for and pay all the increased cost to a drainage works due to the construction and operation of the Public Utility or Road Authority. This may be shown as either benefit or special assessment.



ASSESSMENT

A modified "Todgham Method" was used to calculate the assessments shown on Schedule D- Assessment for Maintenance. This entailed breaking down the costs of the drain into sections along its route.

The remainder is then separated into Benefit and Outlet costs. The Benefit cost is distributed to those properties receiving benefit as defined under "Assessment Definitions", with such properties usually being located along or close to the route of the drain. The Outlet Costs are distributed to all properties within the watershed area of that section on an adjusted basis. The areas are adjusted for location along that section, and relative run-off rates. Due to their different relative run-off rates, forested lands have been assessed for outlet at lower rates than cleared lands. Also, roads and residential properties have been assessed for outlet at higher rates than cleared farmlands.

The actual cost of the work involving this report, with the exception of Special Assessments, is to be assessed on a pro-rata basis against the lands and roads liable for assessment for benefit, outlet, and for special assessment as shown in detail below and on Schedule 'C' - Assessment for Construction. The Special Assessments shall be levied as noted in the Section "Special Assessment". We assess the cost of the enclosure to 571419 Ontario Inc, (Roll No.40-002) and this assessment is to be pro-rated on final costs.

SPECIAL ASSESSMENT

In accordance with Section 26 of the Drainage Act, a Special Assessment has been made against the Municipality of Chatham-Kent being the increased cost to the drainage work for installing a new surface and sub-surface crossing across their road allowance on the Main Drain due to the construction and operation of McDonald Line. The Special Assessment shall be made up of the actual cost of this work and both the final and estimated values of the Special Assessment are to be calculated as follows:

Open Portion	Cost of Work	Plus Administration Cost	Plus Interest & Net H.S.T.	Special Assessment
1,400mm Dia. C.S.P.	\$17,900.00	\$3,400.00	\$540.00	\$21,840.00

In accordance with Section 26 of the Drainage Act, a Special Assessment has been made against the Municipality of Chatham-Kent and the Municipality of West Elgin being the increased cost to the drainage work for installing H.D.P.E. pipes across their road allowance on the Main Drain due to the construction and operation of McPherson Road. The Special Assessment shall be made up of the actual cost of this work and both the final and estimated values of the Special Assessment are to be calculated as follows:



SPECIAL ASSESSMENT (cont'd)

Drain	Cost of Work	Less Equivalent Drain Cost (Fixed)	Plus Administration Cost	Plus Interest & Net H.S.T.	Special Assessment
750m dia. Surface 600m dia. Sub-Surface	\$17,500.00	\$2,720.00	\$3,400.00	\$460.00	\$18,640.00

The special Assessment to McPherson Road shall be borne equally by both Municipality of Chatham-Kent and the Municipality of West Elgin as shown in Schedule 'C' – Assessment for Construction.

The above special assessments shall not apply for future maintenance purposes.

If any additional work is required to the drainage works due to the existence of buried utilities such as gas pipelines, communications cables, etc. or if any of the utilities require relocation or repair, then, the extra costs incurred shall be borne by the utility involved in accordance with the provisions of Section 26 of the Drainage Act.

MAINTENANCE

Upon completion of construction, all owners are hereby made aware of Sections 80 and 82 of the Drainage Act which forbid the obstruction of or damage or injury to a municipal drain.

Repairs or improvements to any road culvert or bridge sub-surface road crossing required by the performance of this work and for future repair and/or replacement, shall be the responsibility of the applicable Road Authority, entirely at their cost.

After completion, the Eastlake Drain, enclosed in this report, shall be maintained by the Municipality of West Elgin at the expense of all the upstream lands and roads assessed in Schedule 'D' – Assessment for Maintenance and in the same relative proportions until such time as the assessment is changed under the Drainage Act.

Respectfully submitted,

SPRIET ASSOCIATES LONDON LIMITED



J.M. Spriet, P.Eng.



SCHEDULE 'A' - ALLOWANCES

EASTLAKE DRAIN

Municipality of West Elgin

In accordance with Sections 29 & 30 of the Drainage Act, we determine the allowances payable to owners entitled thereto as follows:

CONCESSION	LOT	ROLL NUMBER (Owner)	Section 29 Right-of-Way	Section 30 Damages	TOTALS
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MAIN DRAIN

Municipality of West Elgin

11	A & B	40-002 (571419 Ontario Ltd.)		\$ 1,190.00	\$ 1,190.00
				=====	
Total Allowances				\$ 1,190.00	\$ 1,190.00
				=====	

TOTAL ALLOWANCES IN THE MUNICIPLAITY OF WEST ELGIN **\$ 1,190.00**

Municipality of Chatham - Kent

S.M.R.	1	5-137 (S. & M. Smith)	\$ 260.00	\$ 450.00	\$ 710.00
				=====	
Total Allowances			\$ 260.00	\$ 450.00	\$ 710.00
				=====	

TOTAL ALLOWANCES IN THE MUNICIPLAITY OF CHATHAM - KENT **\$ 710.00**

TOTAL ALLOWANCES ON THE EASTLAKE DRAIN **\$ 1,900.00**

EASTLAKE DRAIN**Municipality of West Elgin**

We have made an estimate of the cost of the proposed work which is outlined in detail as follows:

MAIN DRAIN

Open Drain Cleanout, including brushing as required. (Approx 71m)	\$ 1,000.00
Levellling of excavated material	\$ 300.00
Quarry stone rip-rap protection around pipe and end of ditch and installation of rodent gate, as well as construction of pool and riffle structure at outlet as per detail (Approximately 12m³ quarry stone req'd)	
Supply	\$ 300.00
Installation	\$ 1,800.00
Installation of the following pipe, including supply and installation of geotextile around tile joints or bedding as required	
226 meters of 600mm diameter pipe	\$ 7,900.00
Supply of the above listed pipe	\$ 30,500.00
Backfilling and Regrading of existing open ditch using on-site materials from ditch banks	\$ 13,000.00
26 meters of 600mm dia., H.D.P.E. Sewer pipe (subsurface)	
22 meters of 750mm dia., H.D.P.E. pipe (surface)	
Supply	\$ 8,500.00
Installation under Mcpherson Road by open cut	\$ 9,000.00
Supply & delivery of 14m - 1400mm dia, 2.8mm thick aluminized, 125mm x 25mm cor. C.S.P.	\$ 8,400.00
Installation of pipe under McDonald Road including supply and installation of bedding and backfill material and disposal of any unacceptable material including traffic control	\$ 7,000.00
Supply and installation of quarry stone riprap (Approx. 12m³ Q.S. required)	\$ 2,500.00
Supply and install two 900mm x 1200mm on-line ditch inlet catchbasins, including grates, berms, ditching, and any required prefab fittings	\$ 6,000.00
Exposing and locating existing tile drains and utilities	\$ 500.00
Tile connections and contingencies	\$ 4,000.00
Allowances under Sections 29 and 30 of the Drainage Act	\$ 1,900.00

ADMINISTRATION

Interest and Net Harmonized Sales Tax	\$ 2,940.00
Survey, Plan and Final Report	\$ 16,500.00
Expenses	\$ 930.00
Supervision and Final Inspection	\$ 2,530.00
TOTAL ESTIMATED COST	\$ 125,500.00

SCHEDULE 'C' - ASSESSMENT FOR CONSTRUCTION

EASTLAKE DRAIN

Municipality of West Elgin

Job No. 223031

April 20, 2023

* = Non-agricultural

CON.	LOT	HECTARES AFFECTED	ROLL No. (OWNER)	BENEFIT	OUTLET	TOTAL
MAIN DRAIN						
Municipality of West Elgin						
11	A & B	5.00	40-002 (571419 Ontario Ltd.)	\$ 81,330.00	\$	\$ 81,330.00
TOTAL ASSESSMENT ON LANDS				\$ 81,330.00	\$	\$ 81,330.00
McPherson Road 50%		0.30	Municipality of West Elgin	\$ 3,690.00	\$	\$ 3,690.00
TOTAL ASSESSMENT ON ROADS				\$ 3,690.00	\$	\$ 3,690.00
SPECIAL ASSESSMENT against the Municipality of West Elgin for the increased cost of installing 600mm dia. subsurface Sewer Pipe and a 750mm dia. surface culvert across McPherson Road						
						\$ 9,320.00
TOTAL ASSESSMENT IN THE MUNICIPALITY OF WEST ELGIN						\$ 94,340.00
Municipality of Chatham-Kent						
SPECIAL ASSESSMENT against the Municipality of Chatham-Kent for the increased cost of installing 600mm dia. subsurface Sewer Pipe and a 750mm dia. surface culvert across McPherson Road						
						\$ 9,320.00
SPECIAL ASSESSMENT against the Municipality of Chatham-Kent for the increased cost of installing a 1400mm dia. C.S.P. surface culvert across McDonald Line						
						\$ 21,840.00
TOTAL ASSESSMENT IN THE MUNICIPALITY OF CHATHAM-KENT						\$ 31,160.00
TOTAL ASSESSMENT ON THE MAIN DRAIN						\$ 125,500.00

SCHEDULE 'D' - ASSESSMENT FOR MAINTENANCE

EASTLAKE DRAIN

Municipality of West Elgin

Job No. 223031

April 20, 2023

CON.	LOT	HECTARES AFFECTED	ROLL No. (OWNER)	PERCENTAGE OF MAINTENANCE COST
MAIN DRAIN				
Municipality of West Elgin				
10	A	39.4	30-126 (G. & C. Ingratta Farm Ltd.)	26.3 %
10	Pt. A	0.6	30-126-02 ()	0.4
11	A	34.5	40-001 (R. & A. Devries Farms Ltd.)	23.0
11	A	1.2	40-001-10 (H. & E. Mezenberg)	0.8
11	B	5.0	40-002 (571419 Ontario Ltd.)	34.8
TOTAL ASSESSMENT ON LANDS				85.3 %
Thompson Line				1.4
McPherson Road 50%				1.6
Municipality of West Elgin				3.3 %
Municipality of West Elgin				3.7
TOTAL ASSESSMENT ON ROADS				7.0 %
Municipality of Chatham-Kent				
N.M.R.	1	5.3	5-267 (P. & M. Tazier)	3.5 %
TOTAL ASSESSMENT ON LANDS				3.5 %
Thompson Line				0.2
McPherson Road 50%				1.6
Municipality of Chatham-Kent				0.5 %
Municipality of Chatham-Kent				3.7
TOTAL ASSESSMENT ON ROADS				4.2 %
TOTAL ASSESSMENT FOR MAINTENANCE ON THE MAIN DRAIN				100.0 %

SCHEDULE OF NET ASSESSMENT

EASTLAKE DRAIN

Municipality of West Elgin

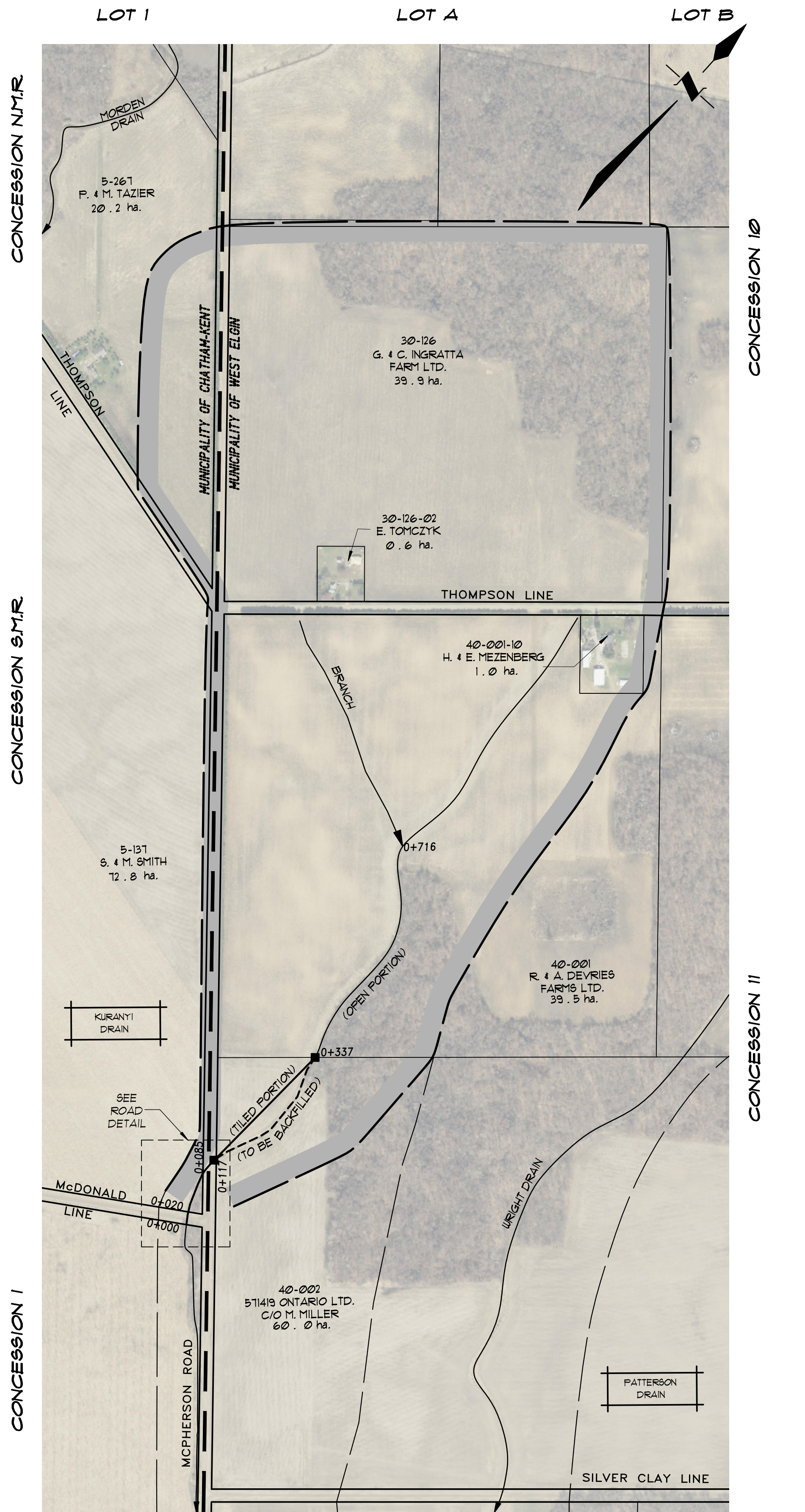
(FOR INFORMATION PURPOSES ONLY)

Job No. 223031

April 20, 2023

* = Non-agricultural

ROLL NUMBER (OWNER)	TOTAL ASSESSMENT	GRANT	ALLOWANCES	APPROX. NET
Municipality of West Elgin				
40-002 (571419 Ontario Ltd.)	\$ 81,330.00	\$	\$ 1,190.00	\$ 80,140.00
McPherson Road 50%	3,690.00			3,690.00
Special Assessment	9,320.00			9,320.00
Municipality of Chatham-Kent				
5-137 (S. & M. Smith)			710.00	-710.00
McPherson Road 50%				
Special Assessment	9,320.00			9,320.00
McDonald Line				
Special Assessment	21,840.00			21,840.00
TOTALS	\$ 125,500.00	\$	\$ 1,900.00	\$ 123,600.00



GENERAL NOTES

- 1/ OUR SPECIFICATIONS DATED JANUARY 2020 APPLY TO THIS PROJECT.
- 2/ THE WORKING WIDTH AVAILABLE TO THE CONTRACTOR TO CONSTRUCT THE NEW DRAINS SHALL CONSIST OF THOSE LANDS IMMEDIATELY ADJACENT TO THE DRAIN AND CONNECTIONS AND SHALL NOT EXCEED THE FOLLOWING AVERAGE WIDTHS:
CLOSED PORTIONS - 20 meters
THE WORKING WIDTH FOR PURPOSES OF FUTURE MAINTENANCE SHALL BE THE SAME AS ABOVE.
- 3/ ALL OWNERS ALONG THE COURSE OF THE DRAIN SHALL MAKE AN ACCESS ROUTE FROM THE NEAREST ROAD TO THE DRAIN LOCATION AVAILABLE TO THE CONTRACTOR THE AVERAGE WIDTH OF THIS ROUTE SHALL NOT EXCEED 8 METERS. THE ACCESS ROUTE SHALL ALSO APPLY FOR FUTURE MAINTENANCE PURPOSES.
- 4/ RIP-RAP TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH "SECTION A.12" IN THE SPECIFICATIONS.
- 5/ CONTRACTOR TO ARRANGE A PRE-CONSTRUCTION MEETING WITH THE ENGINEER, DRAINAGE SUPERINTENDENT, AND THE AFFECTED OWNERS. ALL PARTIES SHALL RECEIVE 48 HOURS NOTICE TO THE MEETING.
- 6/ SILT FENCE TO BE PLACED ACROSS DITCH 10m DOWNSTREAM DURING CONSTRUCTION TO PREVENT SILT FROM FLUSHING DOWNSTREAM. SILT FENCE AND SILT TO BE REMOVED AND DISPOSED OF AFTER CONSTRUCTION.
- 7/ a) ALL UTILITIES TO BE LOCATED AND EXPOSED PRIOR TO CONSTRUCTION SO THAT THE NEW TILE GRADES CAN BE CONFIRMED. IF THERE IS A CONFLICT IN ELEVATION BETWEEN THE PROPOSED DRAIN AND THE UTILITY, THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY.
b) CONTRACTOR TO NOTIFY ALL UTILITIES 72 HOURS PRIOR TO THEIR SCHEDULED TIME FOR STARTING THE ABOVE WORK.
c) THE COST FOR THIS WORK SHALL BE INCLUDED IN THE ITEM ON THE EXTENT OF WORK AND NO EXTRA PAYMENT SHALL BE MADE TO THE CONTRACTOR EXCEPT IF ROAD RESTORATION IS REQUIRED.

CLOSED PORTIONS

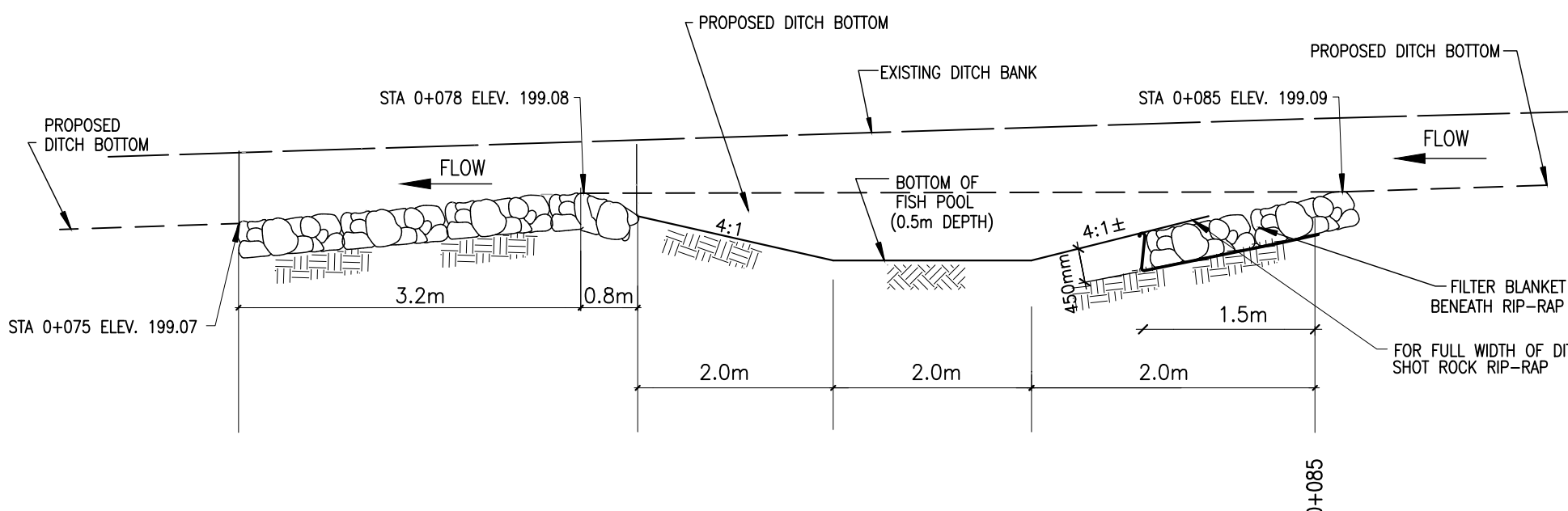
- 8/ ALL CONCRETE TILE AND PIPE TO CONFORM TO "SECTION C.1" IN THE SPECIFICATIONS.
a) SEWER PIPE TO BE CONCRETE, H.D.P.E. PLASTIC 320 KPA (BELL & SPIGOT WITH RUBBER GASKETS, CONFORMING TO C.S.A. 1026-08), PVC ULTRA RIB OR PVC SDR 35
b) CONCRETE TILE SHALL BE HEAVY DUTY.
- 9/ ALL CATCHBASINS SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH "SECTION C.16" IN THE SPECIFICATIONS.
- 10/ EXISTING TILE DRAINS TO BE EXPOSED IN AS MANY LOCATIONS AS ARE NECESSARY TO CONFIRM THEIR EXACT LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. EXACT LOCATION OF NEW TILE DRAINS THEN TO BE CONFIRMED BY DRAINAGE SUPERINTENDENT OR ENGINEER.

- 11/ a) INSTALLATION OF TILE AND TRENCH WIDTHS SHALL BE IN ACCORDANCE WITH "SECTION C - TILE DRAIN" IN THE SPECIFICATIONS.
b) ALL CONCRETE TILE AND TILE-PIPE JOINTS TO BE WRAPPED WITH GEOTEXTILE IN ACCORDANCE WITH "SECTION C.8" IN THE SPECIFICATIONS.
c) NO CONSTRUCTION EQUIPMENT OR FARM MACHINERY SHALL CROSS OVER THE MOUNDED BACKFILLED TILE TRENCHES UNTIL SUFFICIENT SETTLEMENT HAS OCCURRED.
d) STRIP AND STOCKPILE TOPSOIL FROM CONSTRUCTION AREA (4 metre width) EXCEPT LANEWAYS & ROADS. EXCESS SPOIL TO BE LEVELLED AND TOPSOIL RELEVELLED OVER SPOIL, MOUNDED TRENCH AND REMAINING CONSTRUCTION AREA.

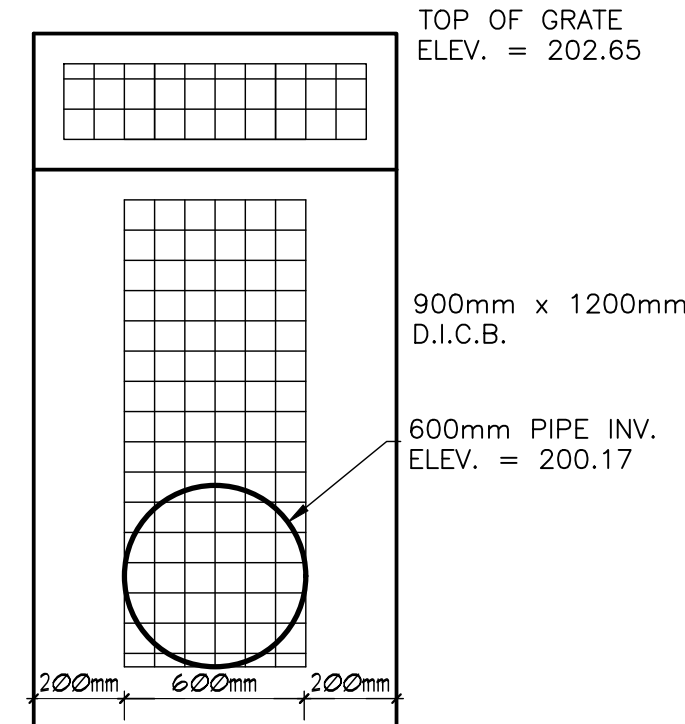
- 12/ a) THE CONTRACTOR SHALL ENSURE THAT ALL TRIBUTARY DRAINS ARE CONNECTED DURING TIME OF CONSTRUCTION. ANY MISSED TILE CONNECTIONS THAT ARE FOUND DURING THE WARRANTY PERIOD OF THE CONTRACT SHALL BE COMPLETED BY THE CONTRACTOR AND SHALL BE PAID THE AMOUNT SET OUT ON PAGE 2 OF THE "FORM OF TENDER". NO ADDITIONAL PAYMENT FOR MOBILIZATION WILL BE ALLOWED. THE CONTRACTOR IS NOT RESPONSIBLE FOR COMPLETING MISSED TILE CONNECTIONS THAT ARE FOUND AFTER THE WARRANTY PERIOD FOR THE CONTRACT HAS EXPIRED.
b) ALL TILE CONNECTIONS TO BE MADE WITH CORING MACHINE AND PLASTIC ADAPTOR OR PREFABRICATED FITTINGS.
c) THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH A LIST SHOWING STATIONS OF ALL TILE CONNECTIONS UPON COMPLETION OF CONSTRUCTION.

OPEN PORTIONS

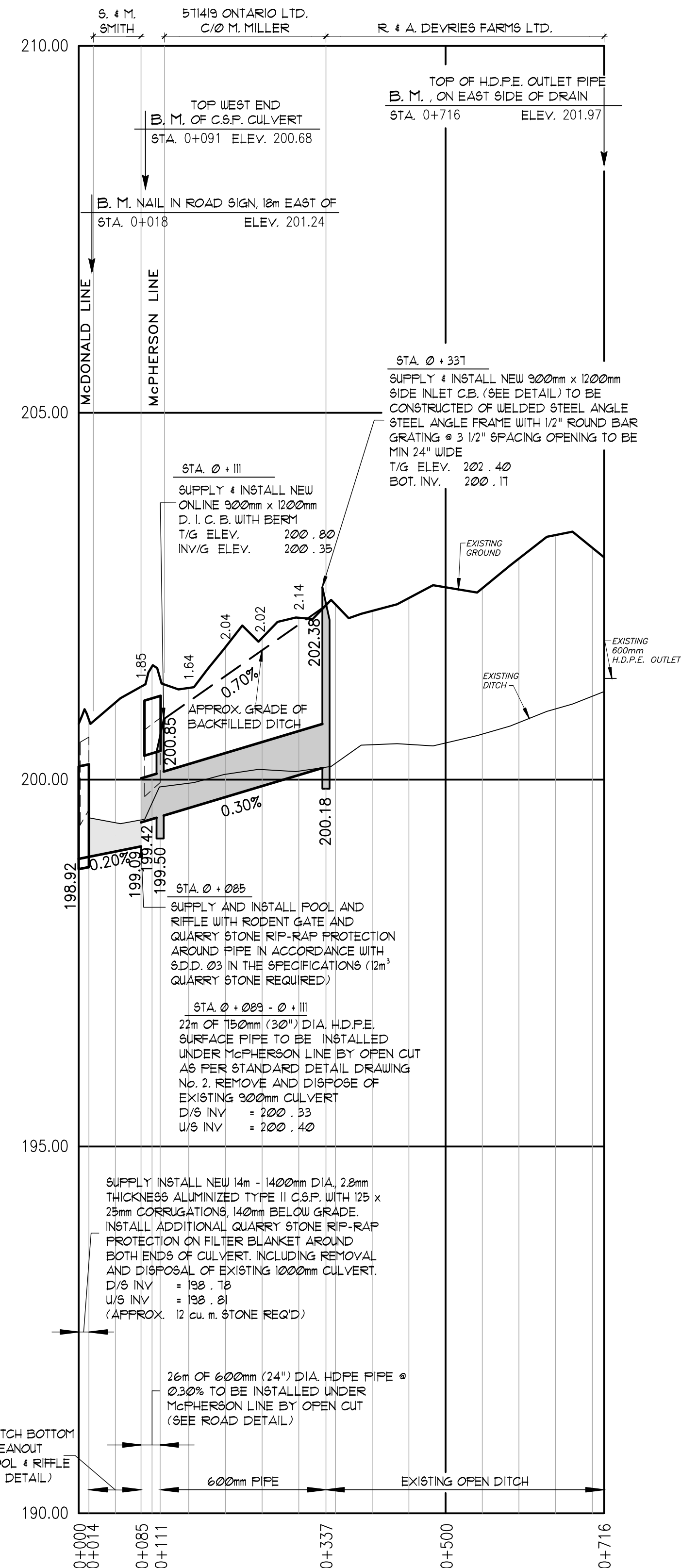
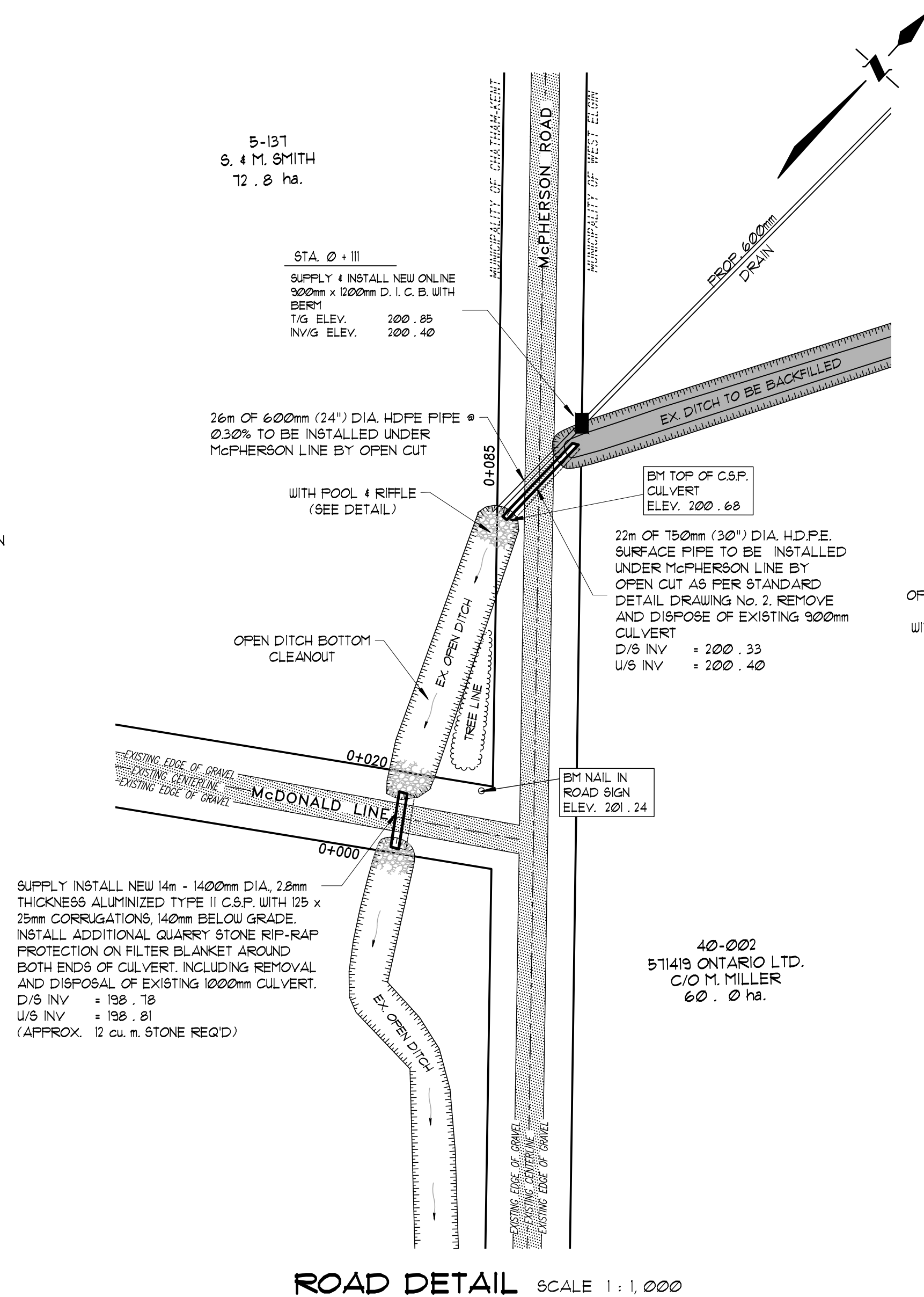
- 13/ EXISTING DITCH BOTTOM ONLY TO BE CLEANED OUT IN ACCORDANCE WITH SPECIFICATIONS UNLESS OTHERWISE NOTED ON PROFILES AND IN SECTIONS.
- 14/ WORK TO BE COMPLETED FROM AND EXCAVATED MATERIAL TO BE DEPOSITED AND LEVELLED ON THE FOLLOWING SIDES OF THE DITCH IN ACCORDANCE WITH "SECTION B.5" IN THE SPECIFICATIONS.
STA. 0+020 TO STA. 0+085 - WEST SIDE AND LEVELED
- 15/ NEWLY EXPOSED DITCH BANKS ARE TO BE HAND SEEDING UPON COMPLETION OF CONSTRUCTION IN ACCORDANCE WITH "SECTION B.11" IN THE SPECIFICATIONS
- 16/ SILT FENCE TO BE PLACED ACROSS DITCH BOTTOM AT STA. 0+020 DURING CONSTRUCTION TO PREVENT SILT FROM FLUSHING DOWNSTREAM AND ARE TO BE MAINTAINED AS NECESSARY DURING CONSTRUCTION. SILT FENCE AND SILT TO BE REMOVED AND DISPOSED OF AFTER CONSTRUCTION.
- 17/ STATIONS 0+820 & 2+863
CONSTRUCT SEDIMENT BASIN IN DITCH BOTTOM FOR FULL WIDTH OF DITCH BOTTOM. SEDIMENT BASIN TO BE 450mm DEEP WITH PARABOLIC SHAPE AND 15m LONG.



STA 0+085 POOL & RIFLE
SCALE: N.T.S.



STA. 0 + 337
SIDE INLET CATCHBASIN
SCALE: N.T.S.



MAIN DRAIN

SCALE: HOR. 1:5,000
VERT. 1:50

		<h1>EASTLAKE DRAIN</h1> <h2>Municipality of West Elgin</h2>		
Drainage Superintendent: TOM MOHAN 519 - 785 - 0560	No. _____ REVISIONS DATE	Drawn By: DF 4 MU Date: APR 20, 2023	Field Book: GFS JOB No.: 223031	Drawing No.: 1 of 1
<h3>PLAN, PROFILE, & DETAIL</h3>				
<h2>SPRIET ASSOCIATES</h2> <p>LONDON CONSULTING ENGINEERS</p> <p>155 YORK STREET - LONDON (519) 672-4100 - NEA 148</p>				

WRIGHT DRAIN
Municipality of West Elgin



SPRIET
ASSOCIATES
ENGINEERS & ARCHITECTS
155 York Street
London, Ontario N6A 1A8
Tel. (519) 672-4100
Fax (519) 433-9351
Email: mail@spriet.on.ca
www.spriet.on.ca

Our Job No. 223032

March 7, 2023

London, Ontario
March 7, 2022

WRIGHT DRAIN

Municipality of West Elgin

To the Mayor and Council of
the Municipality of West Elgin

Mayor and Council:

We are pleased to present our report on the reconstruction of parts of the Wright Municipal Drain serving parts of Lot B, Concession 10 and Lots A and B, Concession 11 (geographic Alborough) in the Municipality of West Elgin. The total watershed area contains approximately 111 hectares.

AUTHORIZATION

This report was prepared pursuant to Section 78 of the Drainage Act. Instructions were received from your Municipality with respect to a motion of Council. The work was initiated by a request signed by one of the affected landowners.

HISTORY

The Wright Drain was last reconstructed pursuant to a report submitted by H.H. Todgham, P. Eng., dated June 16, 1955, and consisted of approximately 2,100 lineal meters of open ditch reconstruction.

EXISTING DRAINAGE CONDITIONS

A site meeting was held with respect to the project and through later discussions, the owner reported the following:

- that the landowner, 571419 Ontario Ltd. (Roll No. 40-002), inquired as to the possibility of enclosing the open drain through a portion of their lands to improve the workability of them

A field investigation and survey were completed. Upon reviewing our findings, we note the following:

- that the existing open drain contains an upstream watershed area of manageable size to permit an enclosure



EXISTING DRAINAGE CONDITIONS (cont'd)

- that the enclosure would require the replacement of the road crossing under Silver Clay Line
- that the enclosure would greatly improve the workability of the lands requesting it

Preliminary design, cost estimates and assessments were prepared, and an informal public meeting was held to review the findings and preliminary proposals. Further input and requests were provided by the affected owners at that time and at later dates. Based on the proposed design it was decided to proceed with the report.

DESIGN CONSIDERATIONS

The Drainage Coefficient method contained in the "DRAINAGE GUIDE FOR ONTARIO", Publication 29 by the Ontario Ministry of Agriculture, Food, and Rural Affairs (OMAFRA) is typically used to design municipal drains. The Drainage Coefficient defines a depth of water that can be removed in a 24-hour period and is expressed in millimetres per 24 hours. The coefficient used to design this drain with respect to capacity was 38mm.

We would like to point out that there have been no indications of any adverse soil conditions. It should be noted that no formal soil investigation has been made.

The proposed design and report have been generally completed using the "GUIDE FOR ENGINEERS WORKING UNDER THE DRAINAGE ACT IN ONTARIO" OMAFRA Publication 852.

RECOMMENDATIONS

We are therefore recommending the following:

- that the Wright Drain - Open Portion be enclosed commencing at the Silver Clay Line and head north-westerly through the lands of 571419 Ontario Ltd. (Roll No. 40-002), with its head at the wooded area in those lands for a total length of approximately 434 lineal meters
- that the road crossing under Silver Clay Line be replaced with a new crossing with the proposed works and the work be constructed using open cut
- that catchbasins be installed at Silver Clay Line and the upstream end of the works to alleviate surface flow and allow the open portion at the top end to remain functioning.



ENVIRONMENTAL CONSIDERATIONS AND MITIGATION MEASURES

There are no significant wetlands or sensitive areas within the affected watershed area or along the route of the drains. The proposed construction of the Wright Drain includes quarry stone outlet protection and surface inlets which greatly help reduce the overland surface flows and any subsequent erosion. A temporary flow check of silt fencing is to be installed in the ditch downstream of the tile outlet for the duration of the construction.

We have reviewed the proposed work with the Department of Fisheries and Oceans (File No. 23-HCAA-00010) and they recommend the following mitigation measure be followed in their letter of advice, the existing open drain is to be isolated prior to any backfilling by installing sediment and erosion controls at the bottom end of the work on the drain.

The proposal was also reviewed with the L.T.V.C.A. and they indicated the project was within their parameters and would issue a permit when it was required.

SUMMARY OF PROPOSED WORK

The proposed work consists of approximately 434 lineal meters of 600mm (24") diameter pipe, including related appurtenances.

SCHEDULES

Four schedules are attached hereto and form part of this report, being Schedule 'A' - Allowances, Schedule 'B' - Cost Estimate, Schedule 'C' - Assessment for Construction, and Schedule 'D' - Assessment for Maintenance.

Schedule 'A' - Allowances. In accordance with Section 30 of the Drainage Act, allowances are provided for damages to lands and crops along the route of the drain as defined below.

Schedule 'B' - Cost Estimate. This schedule provides for a detailed cost estimate of the proposed work which is in the amount of \$ 138,000.00. This estimate includes engineering and administrative costs associated with this project.

Schedule 'C' - Assessment for Construction. This schedule outlines the distribution of the total estimated cost of construction over the roads and lands which are involved.

Schedule 'D' - Assessment for Maintenance. In accordance with Section 38 of the Drainage Act, this schedule outlines the distribution of future repair and/or maintenance costs for portions of, or the entire drainage works.

Drawing No.1 Job No. 223032, and specifications form part of this report. They show and describe in detail the location and extent of the work to be done and the lands which are affected.



ALLOWANCES

DAMAGES: Section 30 of the Drainage Act provides for the compensation to landowners along the drain for damages to lands and crops caused by the construction of the drain. The amount granted is based on \$3,613.00/ha. for closed drain installed with wheel machine. This base rate is multiplied by the hectares derived from the working widths shown on the plans and the applicable lengths.

RIGHT-OF-WAY Section 29 of the Drainage Act provides for an allowance to the owners whose land must be used for the construction, repair, or future maintenance of a drainage works. Under this report no allowance for right-of-way has been given as the area gained by the enclosing of the open drain is deemed sufficient and transferable to the closed drain.

ASSESSMENT DEFINITIONS

In accordance with the Drainage Act, lands that make use of a drainage works are liable for assessment for part of the cost of constructing and maintaining the system. These liabilities are known as benefit, outlet liability and special benefit liability as set out under Sections 22, 23, 24 and 26 of the Act.

BENEFIT as defined in the Drainage Act means the advantages to any lands, roads, buildings or other structures from the construction, improvement, repair, or maintenance of a drainage works such as will result in a higher market value or increased crop production or improved appearance or better control of surface or sub-surface water, or any other advantages relating to the betterment of lands, roads, buildings, or other structures.

OUTLET liability is assessed to lands or roads that may make use of a drainage works as an outlet either directly or indirectly through the medium of any other drainage works or of a swale, ravine, creek, or watercourse.

In addition, a Public Utility or Road Authority shall be assessed for and pay all the increased cost to a drainage works due to the construction and operation of the Public Utility or Road Authority. This may be shown as either benefit or special assessment.

ASSESSMENT

A modified "Todgham Method" was used to calculate the assessments shown on Schedule D- Assessment for Maintenance. This entailed breaking down the costs of the drain into sections along its route. Special Assessments were then extracted from each section.

The remainder is then separated into Benefit and Outlet costs. The Benefit cost is distributed to those properties receiving benefit as defined under "Assessment Definitions", with such properties usually being located along or close to the route of the drain. The Outlet Costs are distributed to all properties within the watershed area of that section on an adjusted basis. The areas are adjusted for location along that section, and relative run-off rates. Due to their different relative run-off rates, forested lands have been assessed for outlet at lower rates than cleared lands. Also, roads and residential properties have been assessed for outlet at higher rates than cleared farmlands.



ASSESSMENT (cont'd)

The actual cost of the work involving this report, with the exception of Special Assessments, is to be assessed on a pro-rata basis against the lands and roads liable for assessment for benefit, outlet, and for special assessment as shown in detail below and on Schedule 'C' - Assessment for Construction. The Special Assessments shall be levied as noted in the Section "Special Assessment".

SPECIAL ASSESSMENT

In accordance with Section 26 of the Drainage Act, a Special Assessment has been made against the Municipality of West Elgin being the increased cost to the drainage work for installing a new surface and sub-surface crossing across their road allowance on the Main Drain due to the construction and operation of Silver Clay Line. The Special Assessment shall be made up of the actual cost of this work and both the final and estimated values of the Special Assessment are to be calculated as follows:

Drain	Cost of Work	Less Equivalent Drain Cost (Fixed)	Plus Administration Cost	Plus Interest & Net H.S.T.	Special Assessment
600mm dia. Sub-Surface 750mm dia. Surface	\$14,200.00	\$5000.00	\$3,400.00	\$320.00	\$12,920.00

The above special assessments shall not apply for future maintenance purposes.

If any additional work is required to the drainage works due to the existence of buried utilities such as gas pipelines, communications cables, etc. or if any of the utilities require relocation or repair, then, the extra costs incurred shall be borne by the utility involved in accordance with the provisions of Section 26 of the Drainage Act.

MAINTENANCE

Upon completion of construction, all owners are hereby made aware of Sections 80 and 82 of the Drainage Act which forbid the obstruction of or damage or injury to a municipal drain.

After completion, the Wright Drain, enclosed in this report, shall be maintained by the Municipality of West Elgin at the expense of all the upstream lands and roads assessed in Schedule 'D' – Assessment for Maintenance and in the same relative proportions until such time as the assessment is changed under the Drainage Act.



Respectfully submitted,

SPRIET ASSOCIATES LONDON LIMITED

J.M. Spriet
J.M. Spriet, P.Eng.



SPRIET ASSOCIATES
engineers & architects

SCHEDULE 'A' - ALLOWANCES

WRIGHT DRAIN

Municipality of West Elgin

In accordance with Section 30 of the Drainage Act, we determine the allowances payable to owners entitled thereto as follows:

CONCESSION	LOT	ROLL NUMBER (Owner)	Section 30 Damages	TOTALS
MAIN DRAIN				
11	A & B	40-002 (571419 Ontario Ltd. c/o M. Miller)	\$ 2,220.00	\$ 2,220.00
12	A	40-041 (P.Donkers)	470.00	\$ 470.00
Total Allowances			\$ 2,690.00	\$ 2,690.00
TOTAL ALLOWANCES ON THE MAIN DRAIN				\$ 2,690.00
TOTAL ALLOWANCES ON THE WRIGHT DRAIN				\$ 2,690.00

WRIGHT DRAIN**Municipality of West Elgin**

We have made an estimate of the cost of the proposed work which is outlined in detail as follows:

MAIN DRAIN

Open Ditch Cleanout, including levelling (Approx. 68m)	\$ 1,000.00
Quarry stone rip-rap protection around pipe and end of ditch and installation of rodent gate, (Approximately 8m ³ quarry stone req'd)	
Supply	\$ 300.00
Installation	\$ 900.00
Installation of the following pipe, including supply and installation of geotextile around tile joints where required	
412 meters of 600mm dia. pipe	\$ 14,400.00
Supply of the above listed pipe	\$ 55,600.00
Backfilling and regrading of existing open ditch using on-site materials from ditch banks	\$ 13,000.00
22 meters of 600mm dia., H.D.P.E. Sewer pipe (subsurface)	
16 meters of 750mm dia., H.D.P.E. pipe (surface)	
Supply	\$ 6,600.00
Installation under Silver Clay Line by open cut	\$ 7,600.00
Supply and install one 900mm x 1200mm on-line ditch inlet catchbasins, and one 900mm x 1200mm side inlet catchbasin including grates, berms, ditching, wyes and any required prefab fittings and removal of existing	\$ 6,000.00
Exposing and locating existing tile drains and utilities	\$ 700.00
Tile connections and contingencies	\$ 5,000.00
Allowances under Section 30 of the Drainage Act	\$ 2,690.00

ADMINISTRATION

Interest and Net Harmonized Sales Tax	\$ 3,250.00
Survey, Plan and Final Report	\$ 16,800.00
Expenses	\$ 910.00
Supervision and Final Inspection	\$ 3,250.00
TOTAL ESTIMATED COST	\$ 138,000.00

SCHEDULE 'C' - ASSESSMENT FOR CONSTRUCTION

WRIGHT DRAIN

Municipality of West Elgin

Job No. 223032

March 7, 2023

* = *Non-agricultural*

CON.	LOT	HECTARES AFFECTED	ROLL No. (OWNER)	BENEFIT	OUTLET	TOTAL
MAIN DRAIN						
11	A & B	24.4	40-002 (571419 Ontario Ltd. c/o M. Miller)	\$ 125,080.00	\$	\$ 125,080.00
TOTAL ASSESSMENT ON LANDS				\$ 125,080.00	\$	\$ 125,080.00

SPECIAL ASSESSMENT against the Municipality of West Elgin for the increased cost of installing
 600mm dia. subsurface Sewer Pipe and a 750mm dia. Surface culvert across Silver Clay Line \$ 12,920.00

TOTAL ASSESSMENT ON THE MAIN DRAIN **\$ 138,000.00**

SCHEDULE 'D' - ASSESSMENT FOR MAINTENANCE

WRIGHT DRAIN

Municipality of West Elgin

Job No. 223032

March 7, 2023

CON.	LOT	HECTARES AFFECTED	ROLL No. (OWNER)	PERCENTAGE OF MAINTENANCE COST
MAIN DRAIN Sta. 0+000- Sta. 0+434				
10	B	37.2	30-130 (A. Sacher)	24.0 %
10	Pt. B	0.8	30-130-02 (R. & F. Tonello)	0.5
11	A	11.6	40-001 (R. & A. Devries Farms Ltd.)	6.0
11	B	24.4	40-002 (571419 Ontario Ltd. c/o M. Miller)	43.3
11	B	34.3	40-003 (A. Sacher)	19.9
11	B	0.5	40-003-03 (A. Sacher)	0.3
				=====
TOTAL ASSESSMENT ON LANDS				94.0 %
				=====
Thompson Line		1.4	Municipality of West Elgin	3.2 %
Silver Clay Line		0.3	Municipality of West Elgin	2.8
				=====
TOTAL ASSESSMENT ON ROADS				6.0 %
				=====
TOTAL ASSESSMENT FOR MAINTENANCE ON THE MAIN DRAIN				<u>100.0 %</u>

SCHEDULE OF NET ASSESSMENT

WRIGHT DRAIN

Municipality of West Elgin

(FOR INFORMATION PURPOSES ONLY)

Job No. 223032

March 7, 2023

* = Non-agricultural

ROLL NUMBER (OWNER)	TOTAL ASSESSMENT	GRANT	ALLOWANCES	APPROX. NET
40-002 (571419 Ontario Ltd. c/o M. Miller)	\$ 125,080.00	\$	\$ 2,220.00	\$ 122,860.00
40-041 (P.Donkers)			470.00	-470.00
Silver Clay Line Special Assessment	\$ 12,920.00			\$ 12,920.00
TOTALS	\$ 138,000.00	\$	\$ 2,690.00	\$ 135,310.00

STRICKER DRAIN
Municipality of West Elgin



SPRIET
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ENGINEERS & ARCHITECTS
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Our Job No. 223024

April 28, 2023

London, Ontario
April 28, 2023

STRICKER DRAIN

Municipality of West Elgin

To the Mayor and Council of
the Municipality of West Elgin

Mayor and Council:

We are pleased to present our report on the reconstruction of the Stricker Municipal Drain serving parts of Lots 12 and 13, Concession 3 (geographic Aldborough) in the Municipality West Elgin. The total watershed area contains approximately 40 hectares.

AUTHORIZATION

This report was prepared pursuant to Section 78 of the Drainage Act. Instructions were received from your Municipality with respect to a motion of Council. The work was initiated by a request signed by one of the affected landowners.

HISTORY

The Stricker Drain was last reconstructed pursuant to a report submitted by H.H. Todgham, P. Eng. dated July 29, 1960 and consisted of the construction of an outlet wall and approximately 122 lineal meters of open drain improvements in Concession 3, Lot 12.

EXISTING DRAINAGE CONDITIONS

A site meeting held with respect to the project and through later discussions, the owners reported the following:

- that the owners, W. Charlot Grains Ltd. (Roll No. 11-056), indicated that they wanted the existing Main Drain and Branch improved to today's standards
- that the other owners in the watershed indicated that the drain was no longer functioning properly

A field investigation and survey were completed. Upon reviewing our findings, we note the following:

- that the existing drain is undersized for today's standards.



EXISTING DRAINAGE CONDITIONS (cont'd)

Preliminary design, cost estimates and assessments were prepared, and an informal public meeting was held to review the findings and preliminary proposals. Further input and requests were provided by the affected owners at that time and at later dates. Based on the proposed design it was decided to proceed with the report.

DESIGN CONSIDERATIONS

The Drainage Coefficient method contained in the "DRAINAGE GUIDE FOR ONTARIO", Publication 29 by the Ontario Ministry of Agriculture, Food, and Rural Affairs (OMAFRA) is typically used to design municipal drains. The Drainage Coefficient defines a depth of water that can be removed in a 24-hour period and is expressed in millimetres per 24 hours. The coefficient used to design this drain with respect to capacity was 38mm per 24 hrs.

We would like to point out that there have been no indications of any adverse soil conditions. It should be noted that no formal soil investigation has been made, with this information being provided by the owners.

The proposed design and report have been generally completed using the "GUIDE FOR ENGINEERS WORKING UNDER THE DRAINAGE ACT IN ONTARIO" OMAFRA Publication 852.

RECOMMENDATIONS

We are therefore recommending the following:

- that the existing tile drain be replaced from its outlet in Concession 3, Lot 12, and head east through the lands of W. Charlot Grains Ltd. (Roll No. 11-056) and R. Hadash (Roll No. 11-058), across Henry Road to its head, just within the lands of K. and B. Okolisan (Roll. No. 11-060) for a total approximate linear length of 699 meters
- that the existing Branch 'A' be replaced from Sta. 0+461 (Main Drain) and head north-easterly across the lands of W. Charlot Grains Ltd. (Roll No. 11-056) across Henry Road to just within the lands of Gurchin Farms Ltd. (Roll No. 11-059) for a total approximate length of 187 lineal meters
- that sealed H.D.P.E. pipe be utilized through the wooded area in the lands of R. Hadash (Roll No. 11-058) to prevent tree roots from intruding into the drain.
- that a catchbasin and berm be installed just upstream of the tile out to help mitigate erosion from overland flows to the bank
- that catchbasins be installed along Henry Road to better collect roadside drainage.
- that the open portion downstream of the tile outlet for 30m be incorporated as part of this main drain report with no work is required at this time
- that the existing Stricker Drain be officially abandoned from municipal status pursuant to Section 19 of the Drainage Act



ENVIRONMENTAL CONSIDERATIONS AND MITIGATION MEASURES

There are no significant wetlands or sensitive areas within the affected watershed area or along the route of the drains. The proposed construction of the Stricker Drain includes quarry stone outlet protection and surface inlets which greatly help reduce the overland surface flows and any subsequent erosion. A temporary flow check of silt fencing is to be installed in the ditch downstream of the tile outlet for the duration of the construction.

SUMMARY OF PROPOSED WORK

The proposed work consists of approximately 30m lineal meter of open drain incorporation and 886 lineal meters of 300mm (12") to 450mm (18") diameter concrete field tile and H.D.P.E. sewer pipe including related appurtenances.

SCHEDULES

Four schedules are attached hereto and form part of this report, being Schedule 'A' - Allowances, Schedule 'B' - Cost Estimate, Schedule 'C' - Assessment for Construction, and Schedule 'D' - Assessment for Maintenance.

Schedule 'A' - Allowances. In accordance with Sections 29 and 30 of the Drainage Act, allowances are provided for right-of-way and damages to lands and crops along the route of the drain as defined below.

Schedule 'B' - Cost Estimate. This schedule provides for a detailed cost estimate of the proposed work which is in the amount of \$130,500.00. This estimate includes engineering and administrative costs associated with this project.

Schedule 'C' - Assessment for Construction. This schedule outlines the distribution of the total estimated cost of construction over the roads and lands which are involved.

Schedule 'D' - Assessment for Maintenance. In accordance with Section 38 of the Drainage Act, this schedule outlines the distribution of future repair and/or maintenance costs for portions of, or the entire drainage works.

Drawing No.1, Job No. 223024, and specifications form part of this report. They show and describe in detail the location and extent of the work to be done and the lands which are affected.

ALLOWANCES

DAMAGES: Section 30 of the Drainage Act provides for the compensation to landowners along the drain for damages to lands and crops caused by the construction of the drain. The amount granted is based on \$3,613.00/ha. for closed drain installed with wheel machine. This base rate is multiplied by the hectares derived from the working widths shown on the plans and the applicable lengths.



ALLOWANCES (cont'd)

RIGHT-OF-WAY Section 29 of the Drainage Act provides for an allowance to the owners whose land must be used for the construction, repair, or future maintenance of a drainage works.

For tile drains where the owners will be able to continue to use the land, the allowance provides for the right to enter upon such lands, and at various times for the purpose of inspecting such drain, removing obstructions, and making repairs. Also, the allowance provides for the restrictions imposed on those lands to protect the right-of-way from obstruction or derogation. The amounts granted for right-of-way on tile drains is based on a percentage of the value of the land designated for future maintenance. Therefore, the amounts granted are based on \$6,670.00/ha. through cropped lands. This value is multiplied by the hectares derived from the width granted for future maintenance and the applicable lengths.

For open ditches, the allowance provides for the loss of land due to the construction provided for in the report. The amounts granted are based on the value of the land, and the rate used was \$45,000.00/ha. When any buffer strip is incorporated and/or created, the allowance granted is for any land beyond a 1.8 meter width deemed to have always been part of the drain. For existing open ditches, the right-of-way to provide for the right to enter and restrictions imposed on those lands, is deemed to have already been granted.

ASSESSMENT DEFINITIONS

In accordance with the Drainage Act, lands that make use of a drainage works are liable for assessment for part of the cost of constructing and maintaining the system. These liabilities are known as benefit, outlet liability and special benefit liability as set out under Sections 22, 23, 24 and 26 of the Act.

BENEFIT as defined in the Drainage Act means the advantages to any lands, roads, buildings or other structures from the construction, improvement, repair, or maintenance of a drainage works such as will result in a higher market value or increased crop production or improved appearance or better control of surface or sub-surface water, or any other advantages relating to the betterment of lands, roads, buildings, or other structures.

OUTLET liability is assessed to lands or roads that may make use of a drainage works as an outlet either directly or indirectly through the medium of any other drainage works or of a swale, ravine, creek, or watercourse.

In addition, a Public Utility or Road Authority shall be assessed for and pay all the increased cost to a drainage works due to the construction and operation of the Public Utility or Road Authority. This may be shown as either benefit or special assessment.



ASSESSMENT

A modified "Todgham Method" was used to calculate the assessments shown on Schedule 'C'- Assessment for Construction. This entailed breaking down the costs of the drain into sections along its route. Special Assessments were then extracted from each section.

The remainder is then separated into Benefit and Outlet costs. The Benefit cost is distributed to those properties receiving benefit as defined under "Assessment Definitions", with such properties usually being located along or close to the route of the drain. The Outlet Costs are distributed to all properties within the watershed area of that section on an adjusted basis. The areas are adjusted for location along that section, and relative run-off rates. Due to their different relative run-off rates, forested lands have been assessed for outlet at lower rates than cleared lands. Also, roads and residential properties have been assessed for outlet at higher rates than cleared farmlands.

The actual cost of the work involving this report, with the exception of Special Assessments, is to be assessed on a pro-rata basis against the lands and roads liable for assessment for benefit, outlet and for special assessments as shown in detail below and on Schedule 'C' - Assessment for Construction. The Special Assessments shall be levied as noted in the Section "Special Assessment".

SPECIAL ASSESSMENT

In accordance with Section 26 of the Drainage Act, Special Assessments have been made against the Municipality of West Elgin being the increased cost to the drainage work for installing H.D.P.E. pipe across their road allowance on the Main Drain and Branch "A", due to the construction and operation of Henry Road. The Special Assessments shall be made up of the actual cost of this work and both the final and estimated values of the Special Assessment are to be calculated as follows:

Drain	Cost of Work	Less Equivalent Drain Cost (Fixed)	Plus Administration Cost	Plus Interest & Net H.S.T.	Special Assessment
Main Drain 375mm dia.	\$6,900.00	\$880.00	\$2,400.00	\$210.00	\$8,630.00
Branch A 300m	\$6,600.00	\$800.00	\$2,400.00	\$210.00	\$8,410.00

The above special assessments shall not apply for future maintenance purposes.

If any additional work is required to the drainage works due to the existence of buried utilities such as gas pipelines, communications cables, etc. or if any of the utilities require relocation or repair, then, the extra costs incurred shall be borne by the utility involved in accordance with the provisions of Section 26 of the Drainage Act.



GRANTS

In accordance with the provisions of Section 85 of the Drainage Act, a grant **may** be available for assessments against privately owned parcels of land which are used for agricultural purposes and eligible for the Farm Property Class Tax rate. Section 88 of the Drainage Act directs the Municipality to make application for this grant upon certification of completion of this drain. The Municipality will then deduct the grant from the assessments prior to collecting the final assessments.

MAINTENANCE

Upon completion of construction, all owners are hereby made aware of Sections 80 and 82 of the Drainage Act which forbid the obstruction of or damage or injury to a municipal drain.

After completion, the entire Stricker Drain shall be maintained by the Municipality of West Elgin at the expense of all upstream lands and roads assessed in Schedule 'D' - Assessment for Maintenance and in the same relative proportions until such time as the assessment is changed under the Drainage Act.

Special Assessments shall **not** be pro-rated for future maintenance purposes.


Repairs or improvements to any road culvert or sub-surface road crossing required by the performance of this work and for future repair and/or replacement, shall be the responsibility of the applicable Road Authority, entirely at their cost.

Respectfully submitted,

SPRIET ASSOCIATES LONDON LIMITED

JMS:ms




J.M. Spriet, P.Eng.



SCHEDULE 'A' - ALLOWANCES

STRICKER DRAIN

Municipality of West Elgin

In accordance with Sections 29 and 30 of the Drainage Act, we determine the allowances payable to owners entitled thereto as follows:

CONCESSION	LOT	ROLL NUMBER (Owner)	Section 29 Right-of-Way	Section 30 Damages	TOTALS
MAIN DRAIN					
3	N½ 12	11-056 (W. Charlot Grains Ltd.)	\$ 3,840.00	\$ 2,950.00	\$ 6,790.00
3	SE¼ 12	11-058 (R. Hadash)	860.00	700.00	1,560.00
3	SW¼ 13	11-060 (K. & B. Okolisan)	40.00	30.00	70.00
Total Allowances			\$ 4,740.00	\$ 3,680.00	\$ 8,420.00

TOTAL ALLOWANCES ON THE MAIN DRAIN **\$ 8,420.00**

BRANCH "A"

3	N½ 12	11-056 (W. Charlot Grains Ltd.)	\$ 1,070.00	\$ 870.00	\$ 1,940.00
3	N½ 13	11-059 (Gurchin Farms Ltd.)	40.00	30.00	70.00
Total Allowances			\$ 1,110.00	\$ 900.00	\$ 2,010.00

TOTAL ALLOWANCES ON THE BRANCH "A" **\$ 2,010.00**

TOTAL ALLOWANCES ON THE STRICKER DRAIN **\$ 10,430.00**

STRICKER DRAIN**Municipality of West Elgin**

We have made an estimate of the cost of the proposed work which is outlined in detail as follows:

MAIN DRAIN

6 meters of 450mm dia., H.D.P.E. plastic sewer pipe including rodent gate, quarry stone rip-rap protection around pipe and end of ditch and brushing as required for outlet.
(Approximately 6m³ quarry stone req'd)

Supply	\$	900.00
Installation	\$	700.00

Installation of the following H.D.P.E. sewer pipe and concrete tile, including supply and installation of geotextile around tile joints and bedding as required for sewer pipe. (Approx. 1000m geotextile req'd)

8 meters of 300mm dia. H.D.P.E. pipe	\$	300.00
75 meters of 350mm dia. concrete tile	\$	2,200.00
56 meters of 375mm dia. H.D.P.E. pipe	\$	2,500.00
83 meters of 400mm dia. concrete tile	\$	2,500.00
455 meters of 450mm dia. concrete tile	\$	13,700.00
Supply of the above listed tile / pipe	\$	25,300.00

16 meters of 375mm H.D.P.E. dia. Sewer pipe

Supply	\$	1,000.00
Installation under Henry Road by open cut	\$	5,900.00

Strip, stockpile and releve topsoil from tile trench and adjacent working area
(4m wide) specified on drawings (approx. 680m)

\$ 4,000.00

Supply and install one 900mm x 1200mm ditch inlet catchbasin and three 600mm x 600mm on-line ditch inlet catchbasin, including grates, berms, ditching, wyes and any required prefab fittings

\$ 9,750.00

Destroy existing drain in place

\$ 1,000.00

Exposing and locating existing tile drains and utilities

\$ 900.00

Tile connections and contingencies

\$ 3,400.00

Allowances under Sections 29 & 30 of the Drainage Act

\$ 8,420.00

STRICKER DRAIN
Municipality of West Elgin

BRANCH "A"

Installation of the following H.D.P.E. sewer pipe and concrete tile, including supply and installation of geotextile around tile joints. (Approx. 200m geotextile req'd)

8 meters of 300mm dia. H.D.P.E. pipe	\$ 300.00
163 meters of 300mm dia. concrete tile	\$ 4,700.00
Supply of the above listed tile / pipe	\$ 4,200.00

16 meters of 300mm H.D.P.E. dia. Sewer pipe

Supply \$ 700.00

Installation under Henry Road by open cut \$ 5,900.00

Strip, stockpile and releve topsoil from tile trench and adjacent working area (4m wide) specified on drawings (approx. 170m)

\$ 1,000.00

Supply and install two 600mm x 600mm on-line ditch inlet catchbasin, including grates, berms, ditching, wyes and any required prefab fittings

\$ 4,500.00

Destroy existing drain in place

\$ 500.00

Exposing and locating existing tile drains and utilities

\$ 300.00

Tile connections and contingencies

\$ 1,000.00

Allowances under Sections 29 & 30 of the Drainage Act

\$ 2,010.00

ADMINISTRATION

Interest and Net Harmonized Sales Tax

\$ 2,950.00

Survey, Plan and Final Report

\$ 15,900.00

Expenses

\$ 960.00

Supervision and Final Inspection

\$ 3,110.00

TOTAL ESTIMATED COST

\$ 130,500.00

SCHEDULE 'C' - ASSESSMENT FOR CONSTRUCTION

STRICKER DRAIN

Municipality of West Elgin

Job No. 223024

April 28, 2023

* = Non-agricultural

CON.	LOT	HECTARES AFFECTED	ROLL No. (OWNER)	BENEFIT	OUTLET	TOTAL
MAIN DRAIN						
3	N½ 12	12.1	11-056 (W. Charlot Grains Ltd.)	\$ 38,010.00	\$ 5,577.00	\$ 43,587.00
3	SE¼ 12	4.0	11-058 (R. Hadash)	9,140.00	2,535.00	11,675.00
3	N½ 13	6.1	11-059 (Gurchin Farms Ltd.)		4,632.00	4,632.00
3	SW¼ 13	15.9	11-060 (K. & B. Okolisan)	1,930.00	17,285.00	19,215.00
3	Pt. 13	0.2	11-060-01 (R. Russell & K. Tompkins)		277.00	277.00
TOTAL ASSESSMENT ON LANDS				\$ 49,080.00	\$ 30,306.00	\$ 79,386.00
Henry Road				\$ 6,650.00	\$ 4,334.00	\$ 10,984.00
TOTAL ASSESSMENT ON ROADS				\$ 6,650.00	\$ 4,334.00	\$ 10,984.00
SPECIAL ASSESSMENT against the Municipality of West Elgin for the increased cost of installing a 375mm dia. H.D.P.E. subsurface pipe underneath Henry Road by Open Cut						
						\$ 8,630.00
TOTAL ASSESSMENT ON THE MAIN DRAIN						<u>\$ 99,000.00</u>
BRANCH "A"						
3	N½ 12	1.3	11-056 (W. Charlot Grains Ltd.)	\$ 7,730.00	\$ 366.00	\$ 8,096.00
3	N½ 13	6.1	11-059 (Gurchin Farms Ltd.)	1,840.00	4,295.00	6,135.00
TOTAL ASSESSMENT ON LANDS				\$ 9,570.00	\$ 4,661.00	\$ 14,231.00
Henry Road				\$ 6,380.00	\$ 2,479.00	\$ 8,859.00
TOTAL ASSESSMENT ON ROADS				\$ 6,380.00	\$ 2,479.00	\$ 8,859.00
SPECIAL ASSESSMENT against the Municipality of West Elgin for the increased cost of installing a 300mm dia. H.D.P.E. subsurface pipe underneath Henry Road by Open Cut						
						\$ 8,410.00
TOTAL ASSESSMENT ON THE BRANCH "A"						<u>\$ 31,500.00</u>
TOTAL ASSESSMENT ON THE STRICKER DRAIN						<u>\$ 130,500.00</u>

SCHEDULE 'D' - ASSESSMENT FOR MAINTENANCE

STRICKER DRAIN

Municipality of West Elgin

Job No. 223024

April 28, 2023

CON.	LOT	HECTARES AFFECTED	ROLL No. (OWNER)	PERCENTAGE OF MAINTENANCE COST
MAIN DRAIN				
3	N½ 12	12.1	11-056 (W. Charlot Grains Ltd.)	39.2 %
3	SE¼ 12	4.0	11-058 (R. Hadash)	11.4
3	N½ 13	6.1	11-059 (Gurchin Farms Ltd.)	7.4
3	SW¼ 13	15.9	11-060 (K. & B. Okolisan)	29.2
3	Pt. 13	0.2	11-060-01 (R. Russell & K. Tompkins)	0.4
				=====
TOTAL ASSESSMENT ON LANDS				87.6 %
				=====
Henry Road		1.1	Municipality of West Elgin	12.4 %
				=====
TOTAL ASSESSMENT ON ROADS				12.4 %
				=====
TOTAL ASSESSMENT FOR MAINTENANCE ON THE MAIN DRAIN				<u>100.0 %</u>
BRANCH "A"				
3	N½ 12	1.3	11-056 (W. Charlot Grains Ltd.)	28.0 %
3	N½ 13	6.1	11-059 (Gurchin Farms Ltd.)	34.5
				=====
TOTAL ASSESSMENT ON LANDS				62.5 %
				=====
Henry Road		0.4	Municipality of West Elgin	37.5 %
				=====
TOTAL ASSESSMENT ON ROADS				37.5 %
				=====
TOTAL ASSESSMENT FOR MAINTENANCE ON BRANCH 'A'				<u>100.0 %</u>

SCHEDULE OF NET ASSESSMENT

STRICKER DRAIN

Municipality of West Elgin

(FOR INFORMATION PURPOSES ONLY)

Job No. 223024

April 28, 2023

* = Non-agricultural

ROLL NUMBER (OWNER)	TOTAL ASSESSMENT	GRANT	ALLOWANCES	APPROX. NET
11-056 (W. Charlot Grains Ltd.)	\$ 51,683.00	\$ 17,228.00	\$ 8,730.00	\$ 25,725.00
11-058 (R. Hadash)	11,675.00	3,892.00	1,560.00	6,223.00
11-059 (Gurchin Farms Ltd.)	10,767.00	3,589.00	70.00	7,108.00
11-060 (K. & B. Okolisan)	19,215.00	6,405.00	70.00	12,740.00
11-060-01 (R. Russell & K. Tompkins)	277.00			277.00
Henry Road	19,843.00			19,843.00
Special Assessment	8,630.00			8,630.00
Special Assessment	8,410.00			8,410.00
TOTALS	\$ 130,500.00	\$ 31,114.00	\$ 10,430.00	\$ 88,956.00

GENERAL NOTES

1/ OUR SPECIFICATIONS DATED JANUARY 2020 APPLY TO THIS PROJECT.

2/ THE WORKING WIDTH AVAILABLE TO THE CONTRACTOR TO CONSTRUCT THE NEW DRAINS SHALL CONSIST OF THOSE LANDS IMMEDIATELY ADJACENT TO THE DRAIN AND CONNECTIONS AND SHALL NOT EXCEED THE FOLLOWING AVERAGE WIDTHS:

CLOSED PORTIONS - 15 METERS

THE WORKING WIDTH FOR PURPOSES OF FUTURE MAINTENANCE SHALL BE 10m.

3/ ALL OWNERS ALONG THE COURSE OF THE DRAIN SHALL MAKE AN ACCESS ROUTE FROM THE NEAREST ROAD TO THE DRAIN LOCATION AVAILABLE TO THE CONTRACTOR THE AVERAGE WIDTH OF THIS ROUTE SHALL NOT EXCEED 8 METERS. THE ACCESS ROUTE SHALL ALSO APPLY FOR FUTURE MAINTENANCE PURPOSES.

4/ a) ALL UTILITIES TO BE LOCATED AND EXPOSED PRIOR TO CONSTRUCTION SO THAT THE NEW TILE GRADES CAN BE CONFIRMED. IF THERE IS A CONFLICT IN ELEVATION BETWEEN THE PROPOSED DRAIN AND THE UTILITY, THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY.

b) CONTRACTOR TO NOTIFY ALL UTILITIES 12 HOURS PRIOR TO HIS SCHEDULED TIME FOR STARTING THE ABOVE WORK.

c) THE COST FOR THIS WORK SHALL BE INCLUDED IN THE ITEM ON THE EXTENT OF WORK AND NO EXTRA PAYMENT SHALL BE MADE TO THE CONTRACTOR, EXCEPT IF ROAD RESTORATION IS REQUIRED.

5/ ALL TREES, SCRUB, BRUSH, ETC. TO BE CLEARED AND GRUBBED IN ACCORDANCE WITH "SECTION B.3 AND C.4" SPECIFICATIONS.

6/ RIP-RAP TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH "SECTION A.28" IN THE SPECIFICATIONS.

7/ CONTRACTOR TO ARRANGE A PRE-CONSTRUCTION MEETING WITH THE ENGINEER, DRAINAGE SUPERINTENDENT, AND THE AFFECTED OWNERS. ALL PARTIES SHALL RECEIVE 48 HOURS NOTICE TO THE MEETING.

CLOSED PORTIONS

8/ SEWER PIPE TO BE CONCRETE, H.D.P.E. PLASTIC 320 KPA (BELL & SPIGOT WITH RUBBER GASKETS CONFORMING TO C.S.A. 1026-08), PVC ULTRA RIB OR PVC 80R 35

9/ EXISTING TILE DRAINS TO BE EXPOSED IN AS MANY LOCATIONS AS ARE NECESSARY TO CONFIRM THEIR EXACT LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. EXACT LOCATION OF NEW TILE DRAINS THEN TO BE CONFIRMED BY DRAINAGE SUPERINTENDENT OR ENGINEER.

10/ a) INSTALLATION OF TILE AND TRENCH WIDTHS SHALL BE IN ACCORDANCE WITH "SECTION C - TILE DRAIN" IN THE SPECIFICATIONS.

b) ALL CONCRETE TILE AND TILE-PIPE JOINTS TO BE WRAPPED WITH GEOTEXTILE IN ACCORDANCE WITH "SECTION C.8" IN THE SPECIFICATIONS.

c) NO CONSTRUCTION EQUIPMENT OR FARM MACHINERY SHALL CROSS OVER THE MOUNDED BACKFILLED TILE TRENCHES UNTIL SUFFICIENT SETTLEMENT HAS OCCURRED.

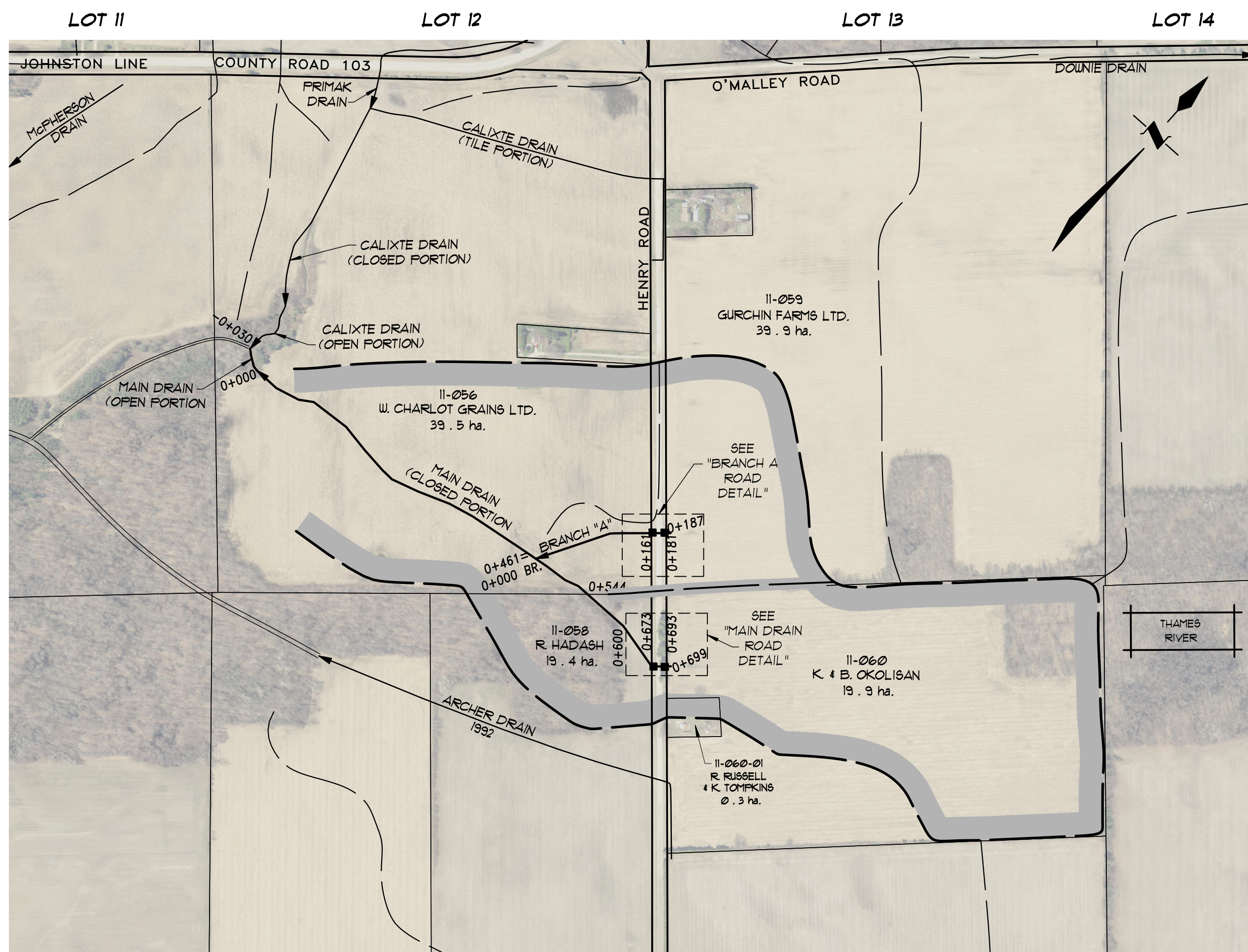
d) STRIP AND STOCKPILE TOPSOIL FROM CONSTRUCTION AREA (4 metre width) FOR ENTIRE LENGTH OF NEW DRAIN (EXCEPT LANEWAYS & ROADS). EXCESS SPOIL TO BE LEVELLED AND TOPSOIL RELEVELLED OVER SPOIL, MOUNDED TRENCH AND REMAINING CONSTRUCTION AREA.

11/ a) THE CONTRACTOR SHALL ENSURE THAT ALL TRIBUTARY DRAINS ARE CONNECTED DURING TIME OF CONSTRUCTION. ANY MISSED TILE CONNECTIONS THAT ARE FOUND DURING THE WARRANTY PERIOD OF THE CONTRACT SHALL BE COMPLETED BY THE CONTRACTOR AND SHALL BE PAID THE AMOUNT SET OUT ON PAGE 2 OF THE "FORM OF TENDER". NO ADDITIONAL PAYMENT FOR MOBILIZATION WILL BE ALLOWED. THE CONTRACTOR IS NOT RESPONSIBLE FOR COMPLETING MISSED TILE CONNECTIONS THAT ARE FOUND AFTER THE WARRANTY PERIOD FOR THE CONTRACT HAS EXPIRED.

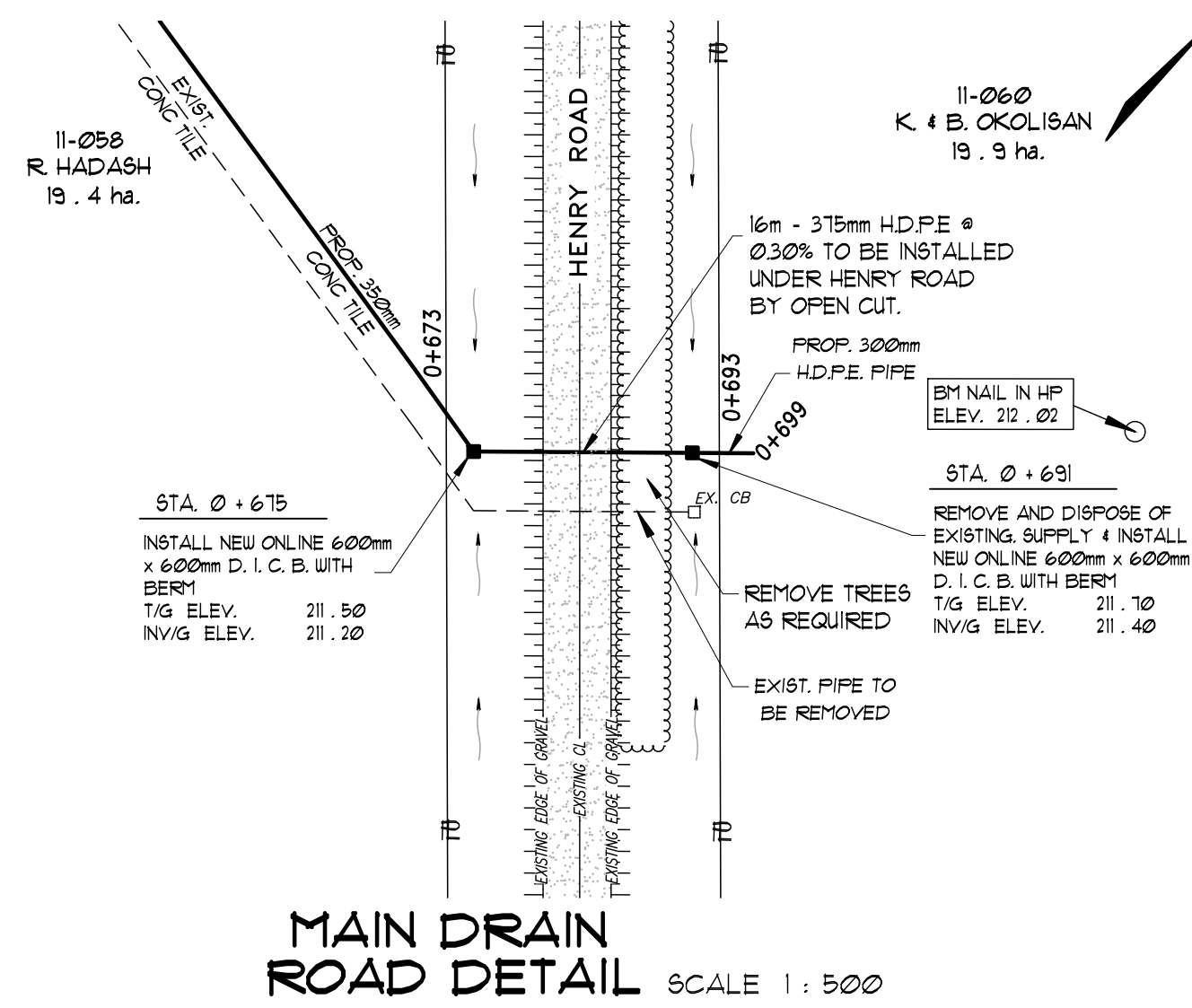
b) ALL TILE CONNECTIONS TO BE MADE WITH CORING MACHINE AND PLASTIC ADAPTOR OR PREFABRICATED FITTINGS.

c) THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH A LIST SHOWING STATIONS OF ALL TILE CONNECTIONS UPON COMPLETION OF CONSTRUCTION.

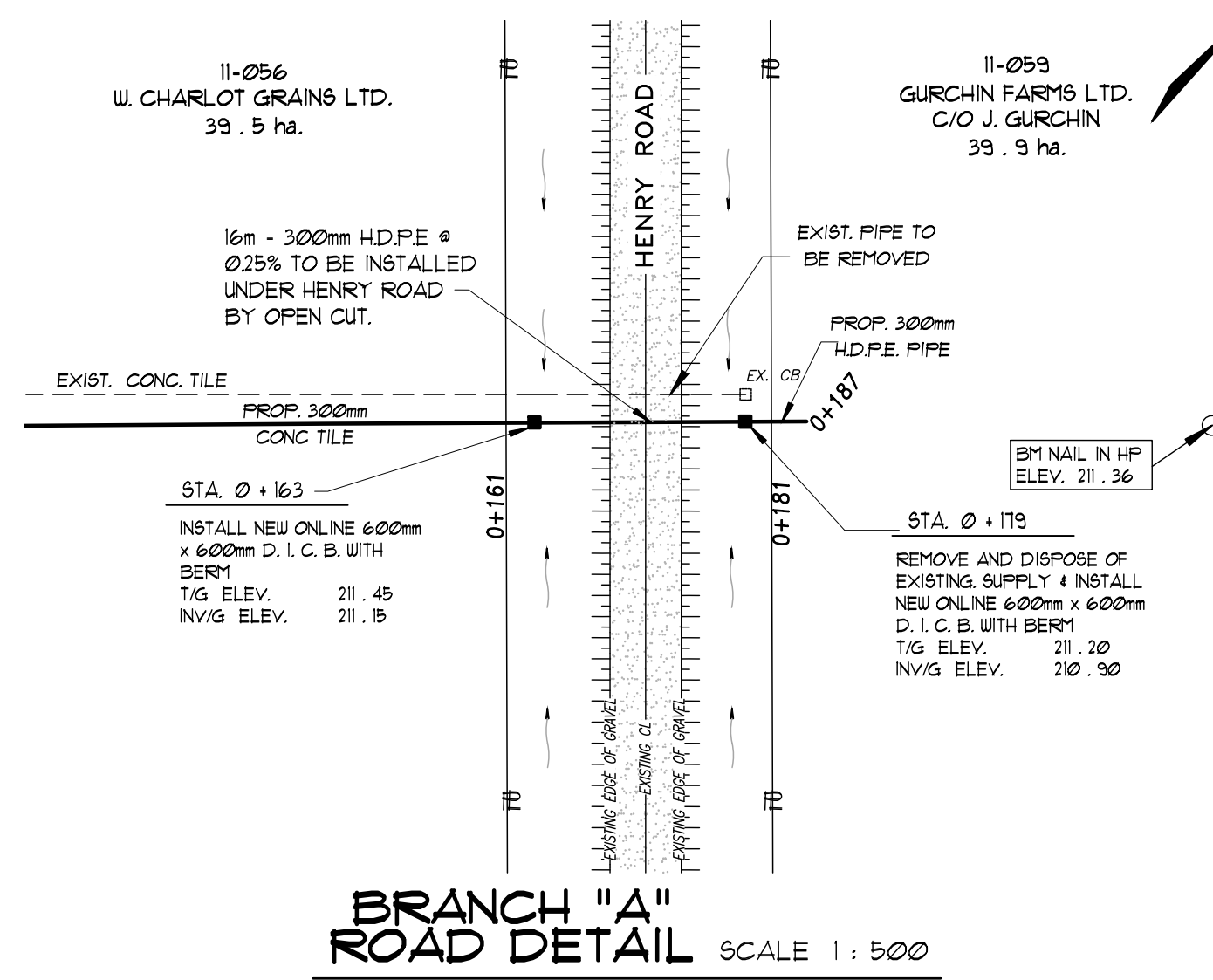
12/ SILT FENCE TO BE PLACED ACROSS DITCH BOTTOM AT STA. 0+000 DURING CONSTRUCTION TO PREVENT SILT FROM FLUSHING DOWNSTREAM, AND ARE TO BE MAINTAINED AS NECESSARY DURING CONSTRUCTION. SILT FENCE AND SILT TO BE REMOVED AND DISPOSED OF AFTER CONSTRUCTION.



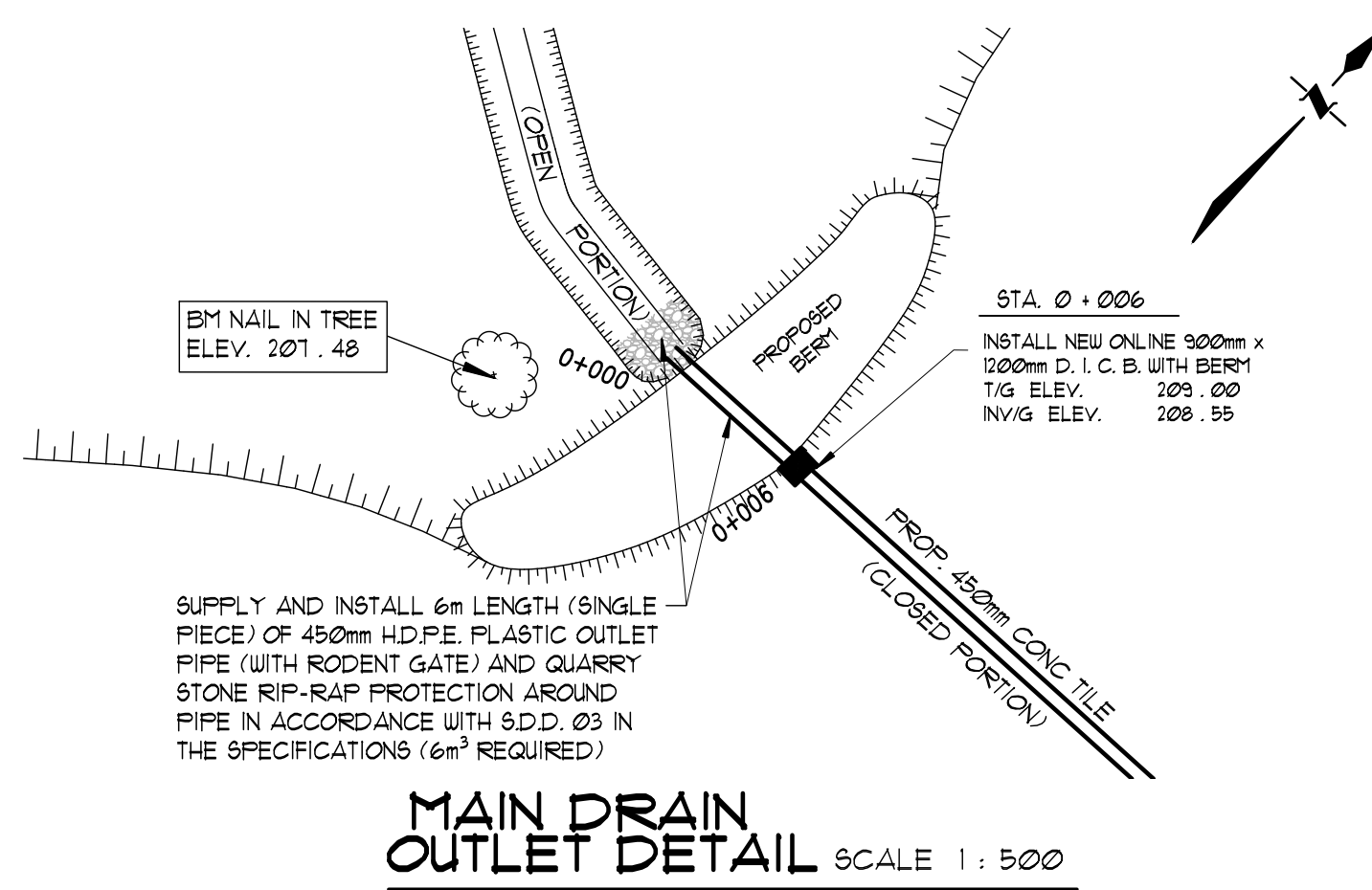
PLAN SCALE 1:5,000



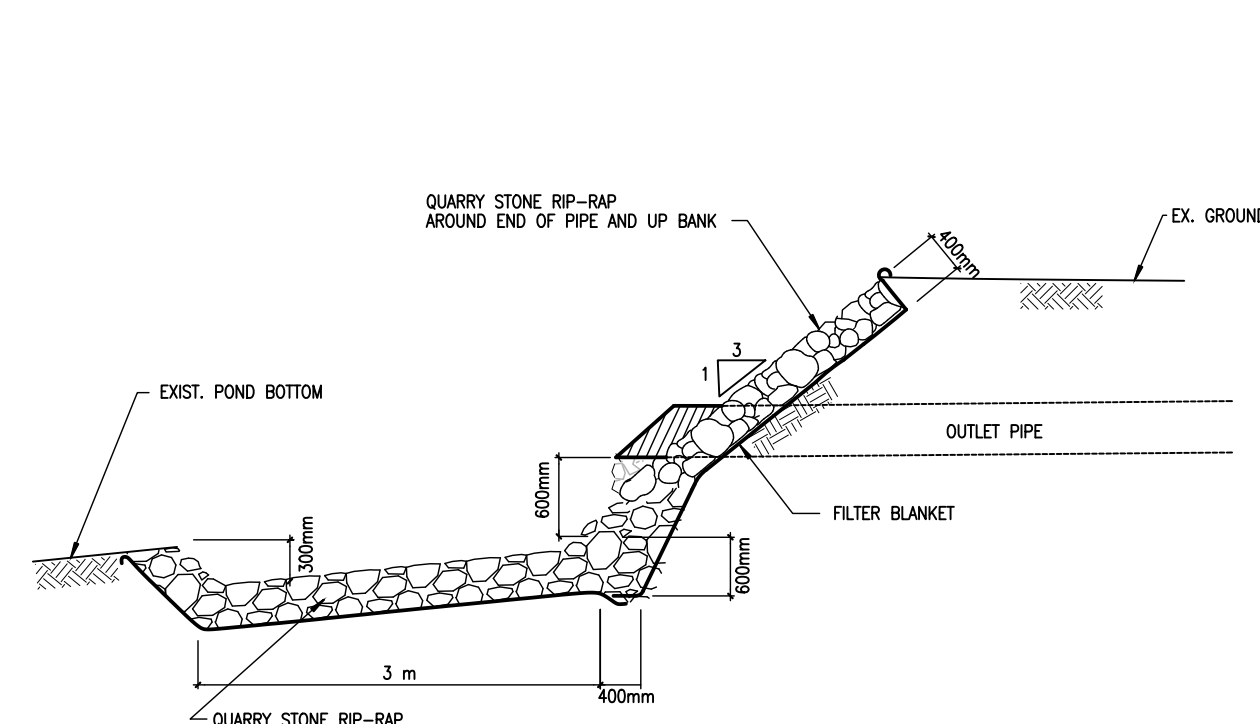
MAIN DRAIN ROAD DETAIL SCALE 1:500



BRANCH "A" ROAD DETAIL SCALE 1:500

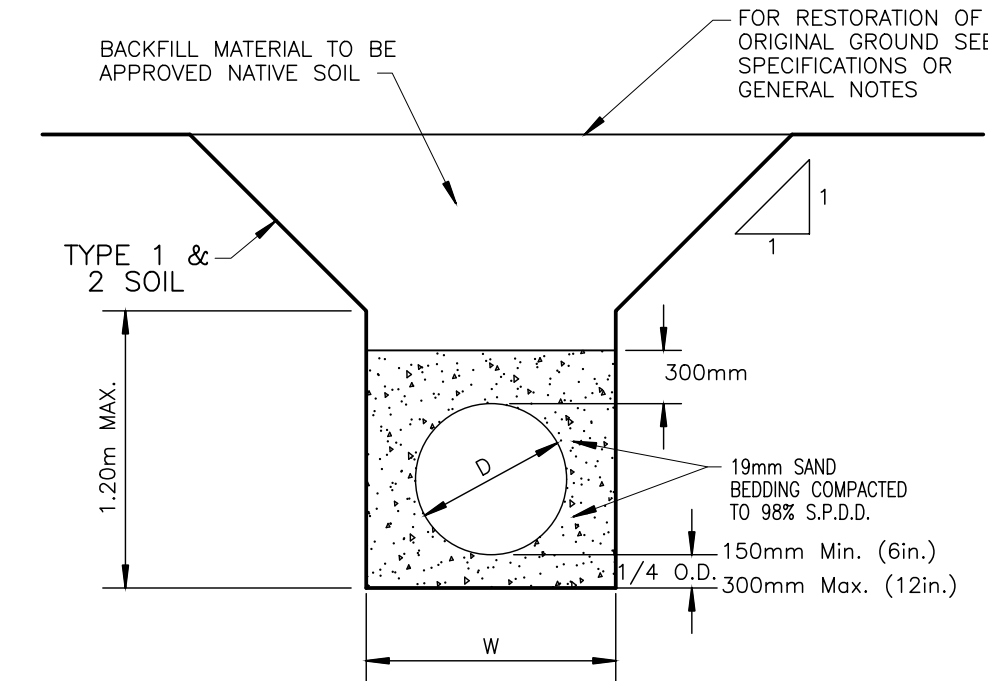


MAIN DRAIN OUTLET DETAIL SCALE 1:500

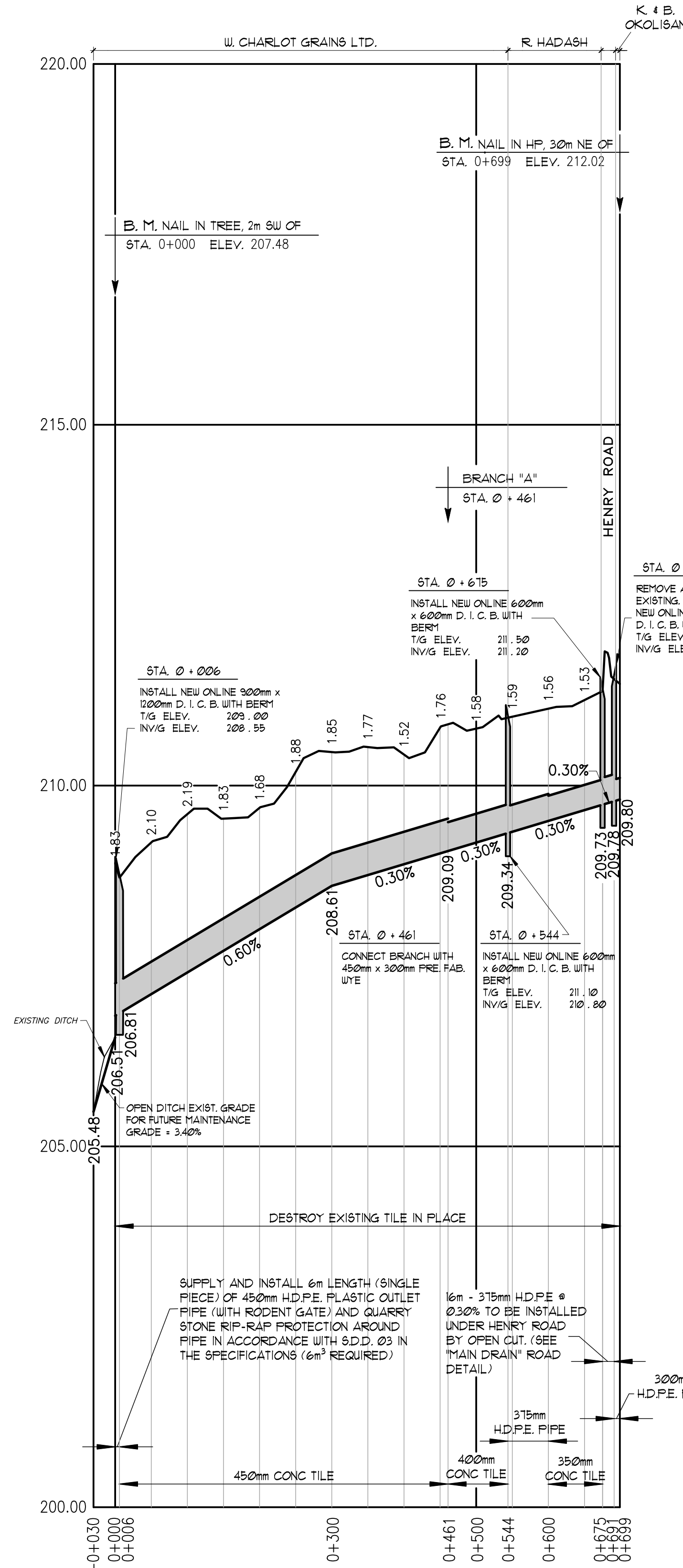


OUTLET DETAIL

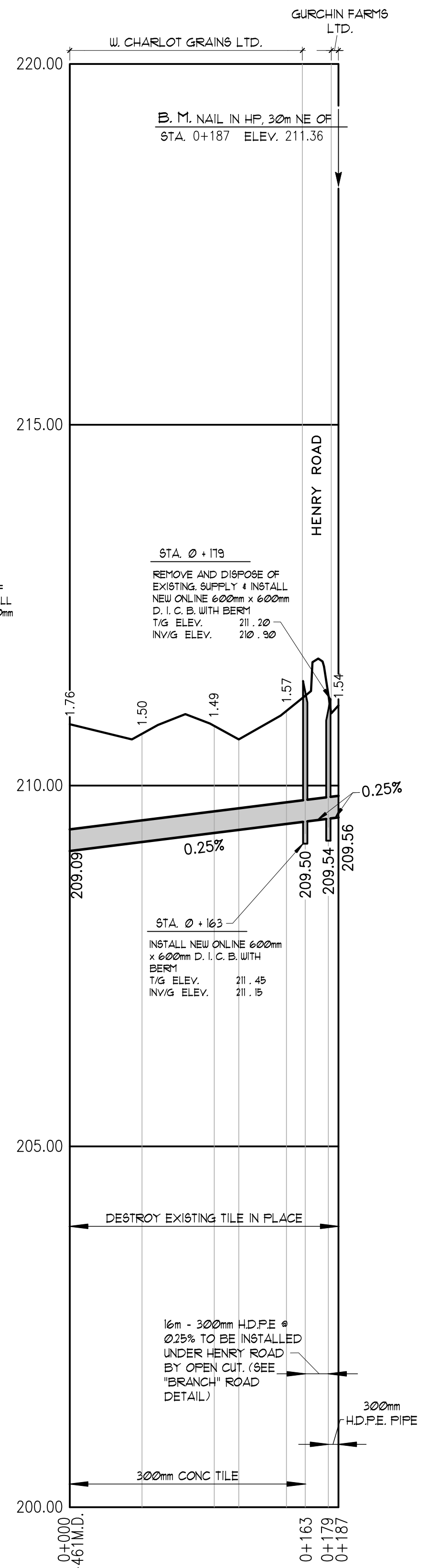
N.T.S.

STA. 0+544 TO 0+600
BEDDING FOR PLASTIC
SEWER PIPE
DETAIL "A"

N.T.S.



MAIN DRAIN

SCALE: HOR. 1:5,000
VERT. 1:50

BRANCH "A"

SCALE: HOR. 1:2,500
VERT. 1:50

PLAN LEGEND			
[Symbol]	LIMIT OF WATERSHED AREA	[Symbol]	TO BE INCLUDED FOR FUTURE MAINTENANCE
[Symbol]	PROPOSED DRAINAGE WORKS	[Symbol]	EXIST. MUNICIPAL DRAIN
[Symbol]	EXTERIOR OR INTERIOR WATERSHED	[Symbol]	PRIVATE TILE OR SURFACE WATER RUN
[Symbol]		[Symbol]	EXIST. WATERCOURSE OR PRIVATE DITCH

10' x 0.03
J. SMITH
40' x 0.03
J. SMITH



STRICKER DRAIN

Municipality of West Elgin

Drainage Superintendent:
TOM MOHAN
519-785-0560

No. _____ REVISIONS _____ DATE _____

Drawn By: MJ & AP
Date: APR 28, 2023

Field Book _____ JOB No. 223024
G.F.S. _____

PLAN, PROFILE, DETAILS & NOTES

1 of 1

SPRIET ASSOCIATES
LONDON LIMITED
CONSULTING ENGINEERS
155 YORK STREET - LONDON (519) 672-4100 - N6A 1A8



Staff Report

Report To: Council Meeting

From: Robert Brown, Planner

Date: 2023-06-07

Subject: Application for Zoning By-law D-14 9-2023 – Recommendation Report, Planning Report 2023-027

Recommendation:

That West Elgin Council hereby receives the report from Robert Brown, Planner regarding Zoning By-law Amendment Application D-14 9-2023 – 24424 Pioneer Line Recommendation Report (Planning Report 2023-027)

That West Elgin Council approve the zoning amendment for the subject parcel on Pioneer Line to:

- i) add a definition of agriculture-related service use;
- ii) rezone the subject parcel from General Agriculture (A1) Zone to General Agriculture Special Regulation 9 (A1-9) Zone to permit an agriculture-related service use as an additional permitted use, and
- iii) establish site-specific regulations within the A1-9 to scope the size of the proposed agriculture-related service use.

That West Elgin Council consider the by-law to amend the Zoning By-law, as presented in the by-law portion of the June 22, 2023, Council Agenda.

Purpose:

The Municipality of West Elgin has received the above-noted application for lands located on the north side of Pioneer Line, between Kerr Road and the west edge of West Lorne. The subject property is designated Agricultural by the Official Plan and zoned General Agricultural, (A1) Zone under the West Elgin Zoning By-law.

The subject lands are 8.9 ha (22 ac.) in area with frontage along Pioneer Line. The property is currently vacant. The applicant recently purchased the property with the intent of constructing a new dwelling and establishing an agricultural related business on the site. The company designs and manufactures lift kits for field sprayers. A site-specific zoning amendment is required to:

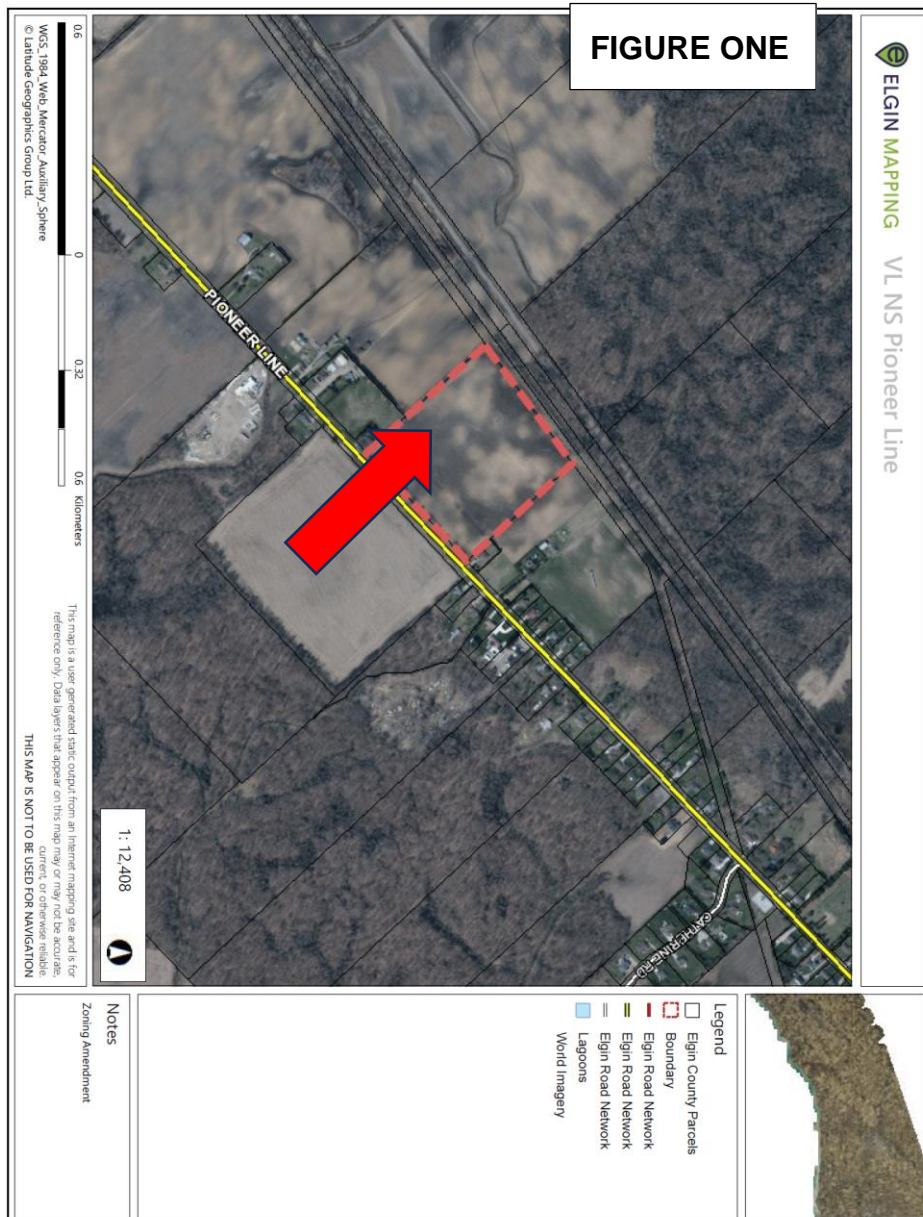
- i) establish a definition for agriculture related service use;
- ii) add agriculture related service use as a site-specific permitted use, and
- iii) establish supporting provisions to regulate the use.

Background:

Below is background information, in a summary chart:

Application	D 14 9-2023
Owner/Applicant	2748537 Ontario Inc.
Legal Description	Part of Lot 15, Concession 8
Entrance Access	Pioneer Line
Area	8.9 ha (22 ac.)
Buildings	Vacant land
Services	New water service & septic required

Figure One below, shows the location of the subject property outlined in red.



Financial Implications:

Application fees have been collected in accordance with the 2023 fee schedule. Development of a new home and business on the subject lands will result in an increase in the assessment value of the property.

Policies/Legislation:

Planning authorities must have regard to matters of Provincial interest, the criteria of the *Planning Act*, be consistent with the Provincial Policy Statement (PPS) and does not conflict with Provincial Plans. Within the Municipality of West Elgin, they must also make decisions that conform to the County of Elgin Official Plan (CEOP) and Municipality of West Elgin Official Plan (OP) and make decisions that represent good land use planning.

PPS (2020):

The subject lands are considered prime agricultural and as such subject to the policies of Section 2.3, Agriculture under PPS. More specifically Section 2.3.3 Permitted Uses.

Section 2.3.3.1 states that, “Proposed agriculture-related and on-farm diversified uses shall be compatible with, and shall not hinder, surrounding agricultural operations. Criteria for these uses may be based on guidelines developed by the Province or municipal approaches, as set out in municipal planning documents, which achieve the same objective.

Comment: The area in which the subject lands are located is on the outskirts of West Lorne in an area of agricultural lands and rural residential development.

The Ontario Ministry of Agriculture, Food and Rural Affairs, after the implementation of PPS, 2014, developed, “Guidelines on Permitted Uses in Ontario’s Prime Agricultural Area” Publication 851. This guide was developed to assist municipal planners in the assessment of what can be considered an appropriate use on agriculturally designated lands.

The guide itself under Section 2.4, Table 2 provides a comprehensive overview of many different examples of potential agriculture related uses. The main considerations of the agriculture-related use are in part their scale but also their need and level of service being offered directly to the agricultural area.

Although the guide doesn’t provide specific size limitations on a given agriculture-related use it does provide some examples on determination of what is appropriate in relation to the size of the farm parcel. The key elements in any use other than agriculture is first and foremost the size or scale of the use i.e. loss of actively farmed land and secondly the impact that use could have on surrounding agriculture including the ongoing operation of the subject lands themselves.

As part of the submission requirements for the requested zoning the applicant was asked to provide a planning justification brief to outline details. (See Appendix A) In the justification the applicant outlined the following about the proposed development on the subject property:

"The intent for the building is to have a facility where I can operate:

- 1. Farm operations such as maintain our current family farm equipment (combines, tractors, sprayers, planter, tillage equipment).*
- 2. House current farm equipment.*
- 3. Office space to run day to day operations with current companies.*
- 4. Warehouse space to receive, package and ship product for agricultural purpose.*
- 5. Space to house personal hobby vehicles, machines and equipment.*

We supply to local and international clients as well as other agricultural distributors and or dealers.

We currently design and manufacture my patented products where we package our outsourced materials. Kit the product together and produce a final product that gets installed on field sprayers. This portion of the business' will be maybe 10% of the space. The bulk of the space is to have enough space for the farm business equipment and hobbies.

Today our current farm operation is about 1500 acres and I custom spray for the local Agris Co-op in Dutton for the past 20 years. Started my innovations company in 2015. We have finally come to find the ideal location for our new home and continue the growth of our Farm operation and also add success in our innovations to make an impact with our products in the agricultural community.

Our logo says it all. "Revolutionizing Agricultural Spraying"

Simon Innovations appreciates this opportunity and we look forward to our future business together!"

The justification brief also outlines further PPS related policy which staff have reviewed and are in concurrence with the conclusion of the justification brief.

Figure Two shows a conceptual layout of the proposed building on the site. There will also be a new home constructed on the site making this the home base of the applicant's farming operation which will also include the proposed agri-related business.

West Elgin Project



FIGURE TWO

Set Back's
to property lines

700'

190'

200'

0:01 / 0:13

Scroll for details



CEOP:

The subject lands are designated Agricultural Area on Schedule 'A' Land Use in the CEOP. The County Plan outlines a number of different uses permitted within the Agricultural designation. Section C2.6 of the CEOP outlines criteria for agriculture-related uses. "Small scale farm-related commercial and farm-related industrial uses which are directly related to agriculture and primarily serve the agricultural operation by adding value, or retaining value of, an agricultural commodity produced by that operation are deemed to be agriculture-related. Such uses may also provide direct service to other agricultural operations in close proximity on a secondary basis.

Comment: The development of the lift kits by the applicant was a direct result of his own experience and work with custom farm applications i.e. crop spraying. This is a very common occurrence in agricultural areas and has resulted in countless innovations coming directly from farmers or farmer workers attempting to improve existing processes for the betterment of agriculture. There are many small scale manufacturing or service locations throughout the agricultural community that provide direct service to farmers and farm-related businesses while the main business still remains farming. The proposed zoning amendment conforms with the policies of the County Official Plan.

WEOP:

The subject lands are designated as Agricultural Area, as shown on Rural Area Land Use and Transportation Schedule 'E' of the OP.

Comment: There are two different sections under the Agricultural designation that are potentially applicable to the proposed use. Secondary uses and Agriculturally-Related Commercial and Industrial. The proposed facility would be best suited as a secondary use since it is in combination with the overall farming operations, only uses a small portion of the proposed building and not a standalone use however some of the assessment criteria under agriculturally related commercial and industrial are worth consideration including:

- i) Suitability of the site for the purposes intended;

Comment: The site is a smaller vacant agricultural parcel that is well located for the new farming operation and proposed secondary use.

- ii) Availability of an adequate and potable water supply;

Comment: The property has access to municipal water along Pioneer Line.

- iii) Approved waste disposal means or facilities;

Comment: Private septic systems for the new use and new home will be required as part of the build out. Any garbage waste from the use specifically can be addressed via a commercial provider.

- iv) Access, or proximate access, to a hard surfaced road subject to the approval of the authority having jurisdiction;

Comment: the property has direct access to Pioneer Line, a paved road and an access permit for the property has already been issued by the approval authority.

- v) Measures, if need be, to ensure compatibility with neighbouring land uses;

Comment: A direct measure to mitigate impact from the agri-related business on the site is setback from Pioneer Line. The proposed building will be located 213 m (700 ft.) from the front property line. This will place the business approximately 195 m (640 ft.) from the nearest dwelling to the west (24392 Pioneer) and 259 m (850 ft.) from the nearest dwelling to the east (24454 Pioneer).

The Ministry of Environment, Conservation and Parks (MECP) provides what are referred to as the D-6 Guidelines which assist approval authorities in the assessment of compatibility with sensitive lands uses such as rural residential. The guideline includes Classes I, II & III which are dependent on the type of use. The subject development, if it were an industrial use, would be considered Class I and as such require a minimum separation of 20 m with a 70 m area of influence. Based on the setbacks to the nearest dwelling to the east and west the use provides more than double the recommended setback and area of influence. In addition, the applicant will be constructing a dwelling on the site with no desire to negatively impact on his own dwelling or have an unkempt site.

- vi) Compliance with the Minimum Distance Separation Formula (MDS I);

Comment: There is no livestock near the subject parcel that would be impacted.

- vii) An amendment to the Zoning by-law, and

Comment: A zoning amendment application has been submitted. As future consideration for Council the current zoning by-law is very limited in terms of as-of-right agri-related uses. This is something that should be reviewed and given consideration in future comprehensive amendments to the by-law.

- viii) Entering into a site plan agreement.

Comment: If the proposed use were a standalone agri-related commercial or industrial use site plan approval would be a recommended step. However, as part of the OMAFRA guidelines noted earlier in this report site plan should be implemented based on scale and overall potential impact mitigation. The other point worth noting is that the business portion of what is proposed represents a small portion while the new farm operation base and dwelling will remain the main use and are not generally subject to site plan approval.

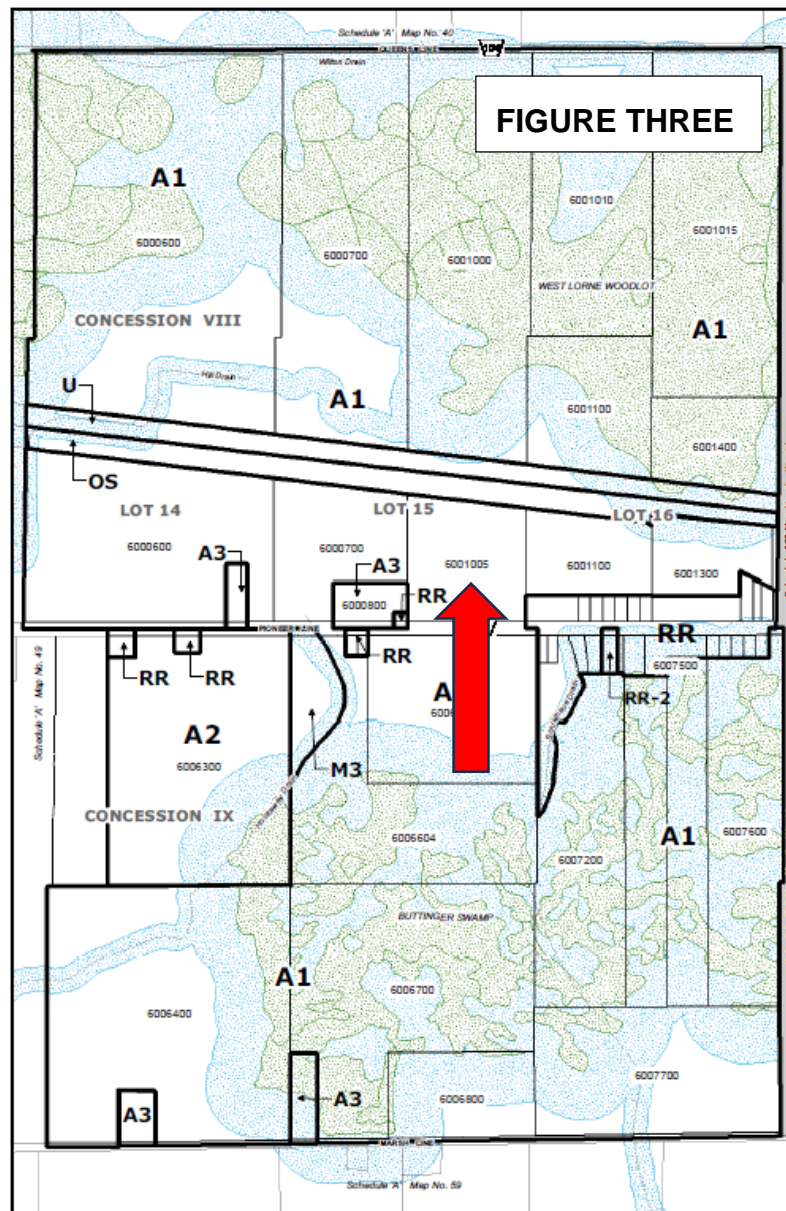
Municipality of West Elgin Comprehensive Zoning By-law 2015-36 (ZBL):

The subject lands are zoned General Agricultural (A1) Zone on Schedule "A" Map 50 of the ZBL as depicted in Figure Three. The application specifically requests the addition of farm sales and service and agricultural industrial establishment, including manufacturing as permitted uses. Each of these uses provide for different aspect of the business but may also provide too broad a list of permitted use with no scale limitations. In place of the requested uses it is suggested that agricultural related service uses be added to the comprehensive zoning by-law as a defined use

and subsequently added as a permitted use on the subject property. The proposed would be defined as follows:

Means the use of land and/or buildings or structures for the manufacturing, service, distribution and wholesale and/or retail of goods, parts or equipment that are necessary to support Agricultural Uses. Examples of the permitted use can include farm machinery, parts and equipment used for the tillage of soil, the planting, spraying, harvesting, transporting, treatment, processing and storage of agricultural crops and products.

General provisions for the amendment would also include a maximum size of 558 sq. m (6,000 sq. ft) for the agriculture-related service use portion of the building and prohibition of outdoor display and sales.



Municipality of WEST ELGIN: RURAL AREA

Schedule "A"

SCALE 1:10,000

0 50 100 200 300 400 500 Metres
Municipality of West Elgin Zoning By-Law

Map No. 50

Interdepartmental Comments:

The zoning was circulated to municipal staff for comment.

External agencies are also circulated for comment. The only comment that was received at the time of writing was from the LTVCA and is attached as Appendix B. The LTVCA does noted that the property is located within 120 m of a Provincially Significant Wetland to the north. However, there is no building proposed in the 120 m setback, the property is separated from the PSW by a former railway corridor and because the main use of the property will continue to be a standard agricultural operation Section 2.1.9 of the PPS notes, "*Nothing in policy 2.1 (Natural Heritage) is intended to limit the ability of agricultural uses to continue.*"

Public Comment:

As required by the Planning Act all landowners within 120 m of the subject parcel were circulated on June 1st, 21 days prior to the meeting, 20 days is the required timeframe. Some feedback has been received from the public notice that was circulated. As noted in the report there are two rural residential lots with existing dwellings, one to the east and one to the west. Noise, general appearance, and traffic are common concerns with the addition of any business use. The zoning has been structured in such a way to limit the overall scale and the applicant will be locating the business toward the rear of the lot in order to provide an adequate buffer. Traffic to the site will increase slightly but not to a level that would exceed expected volumes or type on a County Road.

Summary:

The proposed zoning amendment is consistent with the PPS, conforms to both the CEOP and West Elgin OP.

Respectfully submitted by,



Robert Brown, H. Ba, MCIP, RPP
Planner
Municipality of West Elgin

Report Approval Details

Document Title:	Zoning By-law Amendment Application D-14 9-2023 - Recommendation Report - 2023-27-Planning.docx
Attachments:	<ul style="list-style-type: none">- Appendix A - Planning Opinion Letter (Rezoning) - Steve Simon, Pioneer Line, Rodney (May 8, 2023).pdf- Appendix B - D_14_9_2023 2748537 Ontario Inc May2023 PSW.pdf- 2023-53 - ZBLA - D14 9-2023 Pioneer Line.pdf
Final Approval Date:	Jun 14, 2023

This report and all of its attachments were approved and signed as outlined below:

Terri Towstiuc

BY EMAIL ONLY

May 8, 2023

SSPL File No. 43035

2748537 Ontario Inc.
c/o Steve Simon, President
164 Graham Road
West Lorne, ON N0L 2P0

**Re: Proposed Rezoning Applications to Facilitate New Agricultural-Related Uses
at 0 Pioneer, Municipality of West Elgin**

Dear Mr. Simon,

Storey Samways Planning Ltd. (SSPL) was retained by yourself, through Jim DiMenna, P.Eng., of Metal Building Solutions Inc. (MBSI), to prepare a planning opinion report, as required by West Elgin Planning staff, to support a rezoning application affecting 0 Pioneer Line, Part of Lot 15, Concession 8, in the Community of Alborough Township, to permit, as additional permitted uses, Farm Equipment Sales and Service¹, and Agricultural Industrial Establishment², on a roughly 8.9 ha (22 ac.) existing agricultural lot. This letter is intended to serve this purpose.

LOCATION AND BACKGROUND

The roughly 8.9 ha (22 ac.) subject parcel is located on the north side of Pioneer Line, just west of the Community of West Lorne. The site maintains approximately 295 m (958

¹ *FARM EQUIPMENT SALES & SERVICE shall mean the use of land, buildings or structures where farm vehicles and equipment are stored for the purpose of sale, lease, or hire and where such vehicles and equipment are repaired or serviced for purposes of being maintained in an operable condition.*

² *"AGRICULTURAL INDUSTRIAL ESTABLISHMENT" means the use of land and/or buildings or structures for the manufacturing and wholesale and/or retail sales of goods that are necessary to support agricultural uses. These include, but are not limited to, such goods as farm machinery and equipment used for the tillage of soil, the planting, spraying, harvesting, transporting, treatment, processing and storage of grain, forage, feed, or forest products, products used for the housing and husbandry of livestock, poultry and fur-bearing animals, and the storage, handling and processing of milk, eggs, and manure and the manufacture of subsurface drainage materials and equipment.*

ft.) of frontage, with access, on Pioneer Line. Please refer to Appendix A.

The property is currently vacant and under cultivation. Abutting the parcel to the north is a closed rail corridor, with a mix of woodlots and farmland beyond that; to the east and west, on both sides of Pioneer Line, is a mix of rural residential uses, farmland and woodlots; and immediately to the south, opposite, is a vacant farm parcel, with wooded areas surrounding that.

The subject property is designated Agricultural by the Municipality of West Elgin Official Plan, and is zoned General Agricultural, A1, by the Zoning By-law.

Steve Simon and Simon Innovations

For further background and information for the reader, it is noted that it is your intent that the zoning amendment to also permit manufacturing, assembly, packaging, and sales and service of specialized parts to be installed on farm equipment, will facilitate the construction of a new farm building on the site, and in this regard, you provided the following overview:

The intent for the building is to have a facility where I can operate:

- 1. Farm operations such as maintain our current family farm equipment (combines, tractors, sprayers, planter, tillage equipment).*
- 2. House current farm equipment.*
- 3. Office space to run day to day operations with current companies.*
- 4. Warehouse space to receive, package and ship product for agricultural purpose.*
- 5. Space to house personal hobby vehicles, machines and equipment.*

We supply to local and international clients as well as other agricultural distributors and or dealers.

We currently design and manufacture my patented products where we package our outsourced materials. Kit the product together and produce a final product that gets installed on field sprayers. This portion of the business' will be maybe 10% of the space. The bulk of the space is to have enough space for the farm business equipment and hobbies.

Today our current farm operation is about 1500 acres and I custom spray for the local Agris Co-op in Dutton for the past 20 years. Started my innovations company in 2015. We have finally come to find the ideal location for our new home and continue the growth of our Farm operation and also add success in our innovations to make an impact with our products in the agricultural community.

Our logo says it all. "Revolutionizing Agricultural Spraying"

Simon Innovations appreciates this opportunity and we look forward to our future business together!

It is also noted that it was identified by West Elgin planning and building staff that the industrial and/or commercial components in the new building, which you describe in your comments above, was not permitted as-of-right by the applicable A1 zone provisions. As a result of this, the industrial and/or commercial components would need to be permitted, by way of zoning by-law amendment, on a site-specific basis.

That said, it is my opinion the proposed commercial sales & service component would fall under the definition of a Farm Equipment Sales & Service use. However, for clarification and assurances for your business moving forward, it is also my opinion that the manufacturing and assembly activities which you undertake, should fall under a new definition to be introduced into the West Elgin Zoning By-law, and permitted as such – that definition and use being an Agricultural Industrial Establishment, further described and discussed later in this report.

Finally, it is also my opinion that the other activities that you describe above, are directly related to your personal, and family farm operations and would be permitted as-of-right within the standard A1 zone.

ANALYSIS

Provincial Policy Statement, 2020 (PPS)

Section 1.1.4, Rural Areas in Municipalities, states:

Rural areas are important to the economic success of the Province and our quality of life. Rural areas are a system of lands that may include rural settlement areas, rural lands, prime agricultural areas.... It is important to leverage rural assets and amenities and protect the environment as a foundation for a

sustainable economy.

Further, *Section 1.1.4.1(f)* states:

(Healthy, integrated and viable rural areas should be supported by) promoting diversification of the economic base and employment opportunities through goods and services, including value-added products and the sustainable management or use of resources;

And *Section 1.1.4(i)* states:

(Healthy, integrated and viable rural areas should be supported by) providing opportunities for economic activities in prime agricultural areas, in accordance with policy 2.3.

Section 1.7 Long-Term Economic Prosperity

Section 1.7.1 states:

Long-term economic prosperity should be supported by:

- (a) Promoting opportunities for economic development and community investment-readiness;*
- (g) Providing for an efficient, cost-effective, reliable multimodal transportation system that is integrated with adjacent systems and those of other jurisdictions, and is appropriate to address projected needs to support the movement of goods and people;*
- (i) Sustaining and enhancing the viability of the agricultural system through protecting agricultural resources, minimizing land use conflicts, providing opportunities to support local food, and maintain and improving the agri-food network.*

Section 2.3 Agriculture

Section 2.3.1 states:

Prime agricultural areas shall be protected for long-term use for agriculture.

Section 2.3.3.1 (Permitted Uses) states:

In prime agricultural areas, permitted uses and activities are: agricultural uses, agriculture-related uses and on-farm diversified uses.

Proposed agriculture-related uses and on-farm diversified uses shall be compatible with, and shall not hinder, surrounding agricultural operations...

Comment: as per the Municipality of West Elgin Official Plan, the subject parcel is designated Agriculture. As such, the above noted PPS policies are considered, and discussed in greater detail below in this Analysis section under Guidelines on Permitted Uses in Ontario's Prime Agricultural Areas, Publication 851 – a document which provides an interpretation to the PPS policies as they relate to agricultural areas.

Guidelines on Permitted Uses in Ontario's Prime Agricultural Areas, Publication 851 (Guidelines)

The Guidelines on Permitted Uses in Ontario's Prime Agricultural Areas is a comprehensive document which covers multiple facets of land use planning relating to agriculture in Ontario, which includes discussion on agricultural and non-agricultural uses, setbacks, lot creation, and PPS references.

For the purposes of this letter, the relevant parts of the Guidelines are discussed below, with the goal of determining whether or not the proposed *farm equipment sales and service* establishment, and *agricultural industrial establishment*, is appropriate on the subject agricultural lot, and as a result, whether or not the requested zoning amendment is consistent with the Provincial Policy Statement. An overarching set of comments and an opinion is provided at the end of this discussion, covering both the PPS policies and the Guidelines document.

Section 1.3 Objectives and Criteria for Permitted Uses

The criteria for the uses in prime agricultural areas are specifically derived from PPS policies and definitions. They revolve around two key objectives:

- 1. Maintaining the land base for agriculture (PPS Policy 2.3.1)*
- 2. Supporting a thriving agricultural industry and rural economy (PPS Vision and PPS Policy 1.1.4).*

As noted above in the PPS references, there are three types of permitted uses in prime agricultural areas:

1. Agricultural
2. Agriculture-Related
3. On-Farm Diversified

Section 1.4 Principles of Permitted Uses

The intent of the PPS and these guidelines is to allow uses in prime agricultural areas that ensure settlement areas remain the focus of growth and development and:

- *Agriculture remains the principle use in prime agricultural areas*
- *Prime agricultural areas are protected for future generations*
- *Land taken out of agricultural productions, if any, is minimal*
- *Regard is given to the long-term (multi-generational) impact on prime agricultural areas*
- *Normal farm practices are able to continue unhindered*
- *Agricultural and rural character and heritage are maintained as much as possible*
- *Uses are compatible with agricultural uses*
- *They make a positive contribution to the agricultural industry, either directly or indirectly*
- *Servicing requirements (e.g., water and wastewater, road access, fire services, policing) fit with the agricultural context*

Further, in Section 1.4:

Permitting a wide range of compatible uses in prime agricultural areas is intended to enable:

- *Agriculture and farm operators to prosper*
- *Development of new farm products*
- *Valued/necessary rural services to be available*
- *Diversification of the rural economy and tax base*
- *Job creation that helps stabilize and grow rural communities*
- *Greater awareness and appreciation of agriculture in the area.*

For the information of the reader, the following definitions, as per the PPS, are provided:

Agricultural Uses: means the growing of crops, including nursery, biomass, and horticultural crops; raising of livestock; raising of other animals for food, fur or fibre, including poultry and fish; aquaculture; apiaries; agro-forestry; maple syrup production; and associated on-farm buildings and structures, including, but not limited to livestock facilities, manure storages, value-retaining facilities, and accommodation for full-time farm labour when the size and nature of the operation requires additional employment.

Agriculture-Related Uses: means those farm-related commercial and farm-related industrial uses that are directly related to farm operations in the area, support agriculture, benefit from being in close proximity to farm operations, and provide direct products and/or services to farm operations as a primary activity.

On-Farm Diversified Uses: means uses that are secondary to the principal agricultural use of the property, and are limited in area. On-farm diversified uses include, but are not limited to, home occupations, home industries, agritourism uses, and uses that produce value added agricultural products. Ground-mounted solar facilities are permitted in prime agricultural areas, including specialty crop areas, only as on-farm diversified uses.

For the purpose of this letter, based on the PPS definitions above, it is my opinion that the proposed *farm equipment sales and service* establishment, and *agricultural industrial establishment*, based on my discussions with you, and West Elgin planning staff, falls under the definition of Agriculture-Related Use.

Section 2.2.1 PPS Criteria for Agriculture-Related Uses

All of the following criteria must be met to qualify as agriculture-related uses in prime agricultural areas.

- 1. Farm-related commercial and farm-related industrial use.*
- 2. Shall be compatible with, and shall not hinder, surrounding agricultural operations.*
- 3. Directly related to farm operations in the area.*
- 4. Supports agriculture.*
- 5. Provides direct products and/or services to farm operations as a primary activity.*
- 6. Benefits from being in close proximity to farm operations.*

Comment: as is indicated above, the Guidelines of Permitted Uses in Ontario's Prime Agricultural Areas provides a lay-person interpretation of the PPS Agriculture policies, and provides general examples for the information of the reader. I note that as per the

title of the document, the document provides a set of guidelines and is not in itself a set of policies which are to be followed. That said, the Guidelines do echo the PPS policies which all development applications must be consistent with.

As I provided above, it is my opinion that a *farm equipment sales and service* establishment, and *agricultural industrial establishment*, use on the property is a clear example of an Agriculture-Related Use, which the PPS agricultural policies contemplate and supports. This opinion is based on the comment of yours that I referenced earlier in this letter, being:

"We supply to local and international clients as well as other agricultural distributors and or dealers.

We currently design and manufacture my patented products where we package our outsourced materials. Kit the product together and produce a final product that gets installed on field sprayers. This portion of the business' will be maybe 10% of the space. The bulk of the space is to have enough space for the farm business equipment and hobbies.

Today our current farm operation is about 1500 acres and I custom spray for the local Agris Co-op in Dutton for the past 20 years. Started my innovations company in 2015. We have finally come to find the ideal location four our new home and continue the growth of our Farm operation and also add success in our innovations to make an impact with our products in the agricultural community.

Our logo says it all. "Revolutionizing Agricultural Spraying"

Comment: it is my opinion that the proposed rezoning to permit the *farm equipment sales and service* establishment, and *agricultural industrial establishment*, is not only consistent with the PPS, but it also assists in implementing important policies surround food and food security for local, regional and global communities, while at the same, does not appear to offend any of the remaining PPS policies.

West Elgin Official Plan (OP)

The West Elgin Official Plan contains many policies which speak to economic growth and sustainability, and to the agricultural sector in West Elgin. The subject parcel is designated Agricultural Area. I discuss below those relevant policies with which, in my opinion, your project conforms and supports. I also note other policies contained within

the OP have been considered in my review, however, I see them as neutral and which your application does not offend.

SECTION 2 ECONOMIC DEVELOPMENT

SECTION 2.1 GOALS AND OBJECTIVES

The following goals and objectives are designed to foster economic development in West Elgin:

- a) to maintain agriculture as a significant component of the local economy and the infrastructure necessary to support it;*

SECTION 2.2 AGRICULTURE

2.2.1 Intent

The Municipality recognizes and values the contribution of agriculture to the local economy and shall support those measures which lead to increased production, strong commodity prices, diversity of crops, adjustments to changing marketing conditions, adoption of new practices and technology and economies of scale provided such measures are environmentally sustainable and without adverse impacts on the community.

2.2.2 Infrastructure

The Municipality shall use its best efforts to maintain and improve the physical infrastructure necessary to ensure a productive and efficient local agricultural economy.

2.2.3 Agriculturally-related Commercial and Industrial Uses

The establishment of agriculturally-related commercial and industrial uses and the retention and expansion of existing uses which directly serve the needs of the farm community shall be encouraged and facilitated in locations considered appropriate for these purposes by this Plan in accordance with Section 6.2.3 and other applicable sections of this Plan.

SECTION 6.2 AGRICULTURE

6.2.3 *Agriculturally-related Commercial and Industrial Uses*

Agriculturally-related Commercial and Industrial Uses *Agriculturally-related commercial and agriculturally-related industrial uses that are directly related to serving the needs of the farm community and are required to be, or benefit by being, in close proximity to farming operations shall be permitted subject to the following criteria:*

a) a demonstrated need exists for the use within the planning horizon;

Comment: the market itself has both established the need, and demand, for the products which you design and sell to the local farming community. It is not anticipated that within such a strong agricultural community and economy which West Elgin boasts that the demand for your products and services will diminish over time.

b) reasonable alternative sites including sites within designated settlement areas which avoid prime agricultural areas do not exist and where a location in a prime agricultural area is being proposed, lower priority agricultural lands are considered;

Comment: it is not uncommon to see agricultural-related commercial and industrial uses located adjacent to built-up areas, such as West Lorne in this case. Also, in your circumstance, the subject parcel is undersized by today's farm standards, and although there has been cultivation of the land in the past, the smaller size does not in itself lend to efficient cultivation based on the size of your farming operation as a whole.

I also note that the farm building itself would normally be permitted at this location, and as your commercial activities will only account for a nominal footprint within the building, I view this as an efficient use of the building and land upon which it will sit.

c) specialty crop areas are not impacted;

Comment: specialty crops are not grown on this site, nor have any been identified in the immediate area. As such, there will be no impact.

d) suitability of the site for the purposes intended;

Comment: the site is deemed suitable for the intended purpose.

e) availability of an adequate and potable water supply;

Comment: municipal water service is available and will be employed.

f) approved waste disposal means or facilities;

Comment: the new building will require a new private waste disposal system to be installed. This will be addressed at the time of a building permit.

g) access, or proximate access, to a hard surfaced road subject to the approval of the authority having jurisdiction;

Comment: the site is serviced by an existing access to Pioneer Line, which is a hard-surfaced municipal road.

h) measures, if need be, to ensure compatibility with neighbouring land uses;

Comment: it is not anticipated that the proposed use will cause any issues of incompatibility with the surround farms and rural residential uses. However, any mitigation measures, such as setbacks and landscaping, will be addressed as part of a future site plan approval process.

i) compliance with the Minimum Distance Separation Formula (MDS I);

Comment: no MDS issues are presented by the proposal.

j) an amendment to the Zoning By-law; and

Comment: an application for zoning by-law amendment shall be filed to permit the proposed agricultural-related use.

k) entering into a site plan agreement.

Comment: noted. Application for site plan approval will be filed following a favorable decision of Council on the zoning by-law amendment application.

Overarching Comment: similar to the comment on the PPS above, it is my opinion that the proposal conforms to the West Elgin Official Plan; supports many important policies regarding economic development and agriculture; and offends no others.

West Elgin Zoning By-law (ZBL)

As indicated earlier in this report, the subject property is currently zoned General Agricultural, A1. This zone permits the following uses as-of-right, subject to certain performance standards criteria being met:

- *accessory living quarters for seasonal farm help*
- *agricultural use*
- *agri-tourism use*
- *bed and breakfast establishment*
- *cabin*
- *converted dwelling*
- *dog kennel*
- *existing cemetery*
- *farm winery*
- *home occupation*
- *hunting preserve*
- *landing strip*
- *riding school*
- *production of oil and natural gas*
- *single unit dwelling*
- *secondary farm occupation*
- *wildlife preserve*

It is noted that the above list of permitted uses does not permit farm-related commercial and industrial activities as-of-right.

Zoning By-law Amendment

In order for the proposed commercial and industrial components of your business operation to locate at the subject site, and to provide long-term certainty to your operation, it is recommended that a site-specific zoning amendment be sought to:

- 1) Introduce the definition of *Agricultural Industrial Establishment* into the West Elgin Zoning By-law, the definition being:

"AGRICULTURAL INDUSTRIAL ESTABLISHMENT" means the use of land and/or buildings or structures for the manufacturing and wholesale and/or retail sales of goods that are necessary to support agricultural uses. These include, but are not limited to, such goods as farm machinery and equipment used for the tillage of soil, the planting, spraying, harvesting, transporting, treatment, processing and storage of grain, forage, feed, or forest products, products used for the housing and husbandry of livestock, poultry and fur-bearing animals, and the storage, handling and processing of milk, eggs, and manure and the manufacture of subsurface drainage materials and equipment.

- 2) Add an Agricultural Industrial Establishment as an additional permitted use;
- 3) Add Farm Equipment Sales & Service as an additional permitted use.

For the reasons discussed above in this letter, I see no issues of incompatibility with the adjacent agricultural operations, or rural residential uses, raised by the proposed use on the subject property, and I am of the opinion that the proposed rezoning is appropriate.

CONCLUSION

The proposed rezoning at 0 Pioneer Line, in Part of Lot 15, Concession 8, in the Municipality of West Elgin to add farm equipment sales and service, and agricultural industrial establishment, as additional permitted uses is consistent with the Provincial Policy Statement, and is in conformity with the West Elgin, and for the reasons outlined in this letter, represents good planning.

Therefore, it my recommendation that your application for zoning by-law amendment be approved by West Elgin Council.

Prepared by:

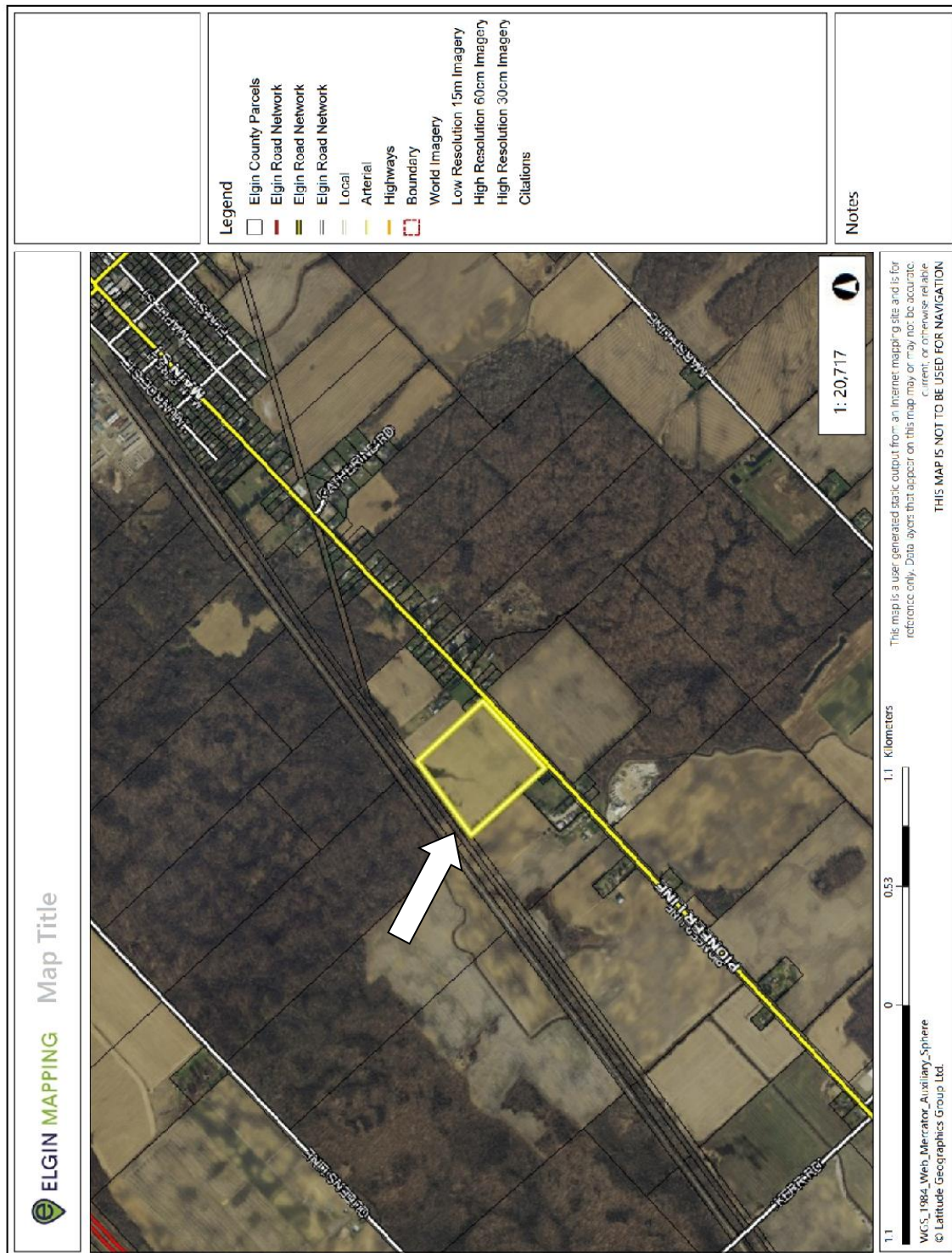


David French, BA, CPT
Storey Samways Planning Ltd.

Attachments:

Appendix A – Location Map

APPENDIX A



May 23, 2023

Municipality of West Elgin
22413 Hoskins Line
Rodney, ON N0L 2C0

Attn: **Robert Brown**

Re: **Zoning By-law Amendment (D-14 9-2023)**
0 Pioneer Line (2748537 Ontario Inc.)
Roll No. 3434 000 060 01005
Part Lot 15; Concession 8
Municipality of West Elgin

Please be advised that the above-mentioned application has been reviewed by this office and staff have no objections to this proposal. The Conservation Authority is responsible for addressing the Natural Hazard Section of the Provincial Planning Policy Statement as well as the Conservation Authority's Development, Interference with Wetlands and Alterations to Shorelines and Watercourses Regulation, O. Reg. 152/06 under the Conservation Authorities Act. After reviewing our files and mapping, staff determined that the property in question is subject to the Authority's Development and Interference with Wetlands portion of the regulations. The issues of concern for this area is the 120 m Adjacent Lands for the West Lorne Woodlot Provincially Significant Wetland.

An application from this office is required prior to any works/construction taking place within the regulated area. The lands are not subject to flooding of a general nature and therefore the flood proofing of structures on the property is not required. However, the flood proofing of structures for the purposes of prevention of flood damage from local drainage waters is always recommended. Setbacks from the wetland will be required to any proposed works / structure(s) / site alteration.

Yours truly



Connor Wilson
Planner



Municipality of West Elgin

Minutes

Council Meeting

June 8, 2023, 9:30 a.m.

West Elgin Community Complex - Hybrid Meeting

160 Main St

West Lorne

Electronic Hybrid Meeting

Present: Mayor R. Leatham
Councillor T. Tellier
Councillor Navackas
Councillor Denning

Staff Present: M. Badura, CAO/ Treasurer
L. Gosnell, Manager of Operations & Community Services
Robert Brown, Planner
Heather Bouw, Clerk

**This Meeting was held in Hybrid format and the recording available at
www.westelgin.net (pending no technical difficulties)**

1. Call to Order

Mayor Leatham called the meeting to order at 9:31 a.m.

2. Adoption of Agenda

Resolution No. 2023- 166

Moved: Councillor Denning

Seconded: Councillor Navackas

That the Council of the Municipality of West Elgin hereby adopts the Agenda as presented.

Carried

3. Disclosure of Pecuniary Interest

3.1 Councillor Denning - By-law 2023-51, Agreement with Rodney Cemetery Company

4. Adoption of Minutes

Resolution No. 2023- 167

Moved: Councillor Tellier

Seconded: Councillor Denning

That the Minutes of the Council meeting on May 25, 2023 be adopted as circulated and printed.

Carried

5. Business Arising from Minutes

6. STATUTORY PUBLIC MEETING - Draft Official Plan

Resolution No. 2023- 168

Moved: Councillor Tellier

Seconded: Councillor Navackas

That the Council of the Municipality of West Elgin proceed into a Public Meeting pursuant to Section 26(3) and (4) of the Planning Act, R.S.O., 1990, as amended, to hear comments and concerns as it relates to the municipality's draft Official Plan; and

Further, to identify additional planning issues that should be considered and or addressed.

Carried

6.1 P. Kennedy and K. Martel, Dillon Consulting

Also Present - Ted Halwa, John Slaats, Dianne Slaats, David French

6.1.1 Draft Official Plan Presentation

6.2 Staff Report

None

6.3 Correspondence Received

None

6.4 Public Comments

Approximately 30 people in attendance at the Open House, held on May 9, 2023.

Two written submissions:

–Elgin Federation of Agriculture (May 30th, 2023)

–Planning Justification Report for 11061 Graham Road, West Lorne on behalf of Curtis and Christine Hay (May 8th, 2023)

6.5 Recommendation

Resolution No. 2023- 2023-169

Moved: Councillor Tellier

Seconded: Councillor Denning

That the Statutory Public Meeting to hear comments and concerns relating to the Municipality's draft Official Plan closes at 10:10 a.m.

Carried

7. Public Meeting - Planning - ZBA D-14 5-2023

Resolution No. 2023- 170

Moved: Councillor Tellier

Seconded: Councillor Denning

That Council of the Municipality of West Elgin proceed into a Public Meeting pursuant to Section 34 of the Planning Act in order to hear an application to rezone property located at Part Lot 6, Concession 1/Broken Front, Pt 1, RP 11R7842.

Carried

7.1 Purpose of the Public Meeting

The subject land is a vacant 18.74 ha (46.3 ac.) farm parcel located on the north side of Fleming Line, east of Clachan Road. The applicants recently purchased the property with the intent of relocating and would also like to construct a new single detached dwelling and shed on the site. The applicants currently operate a custom cabinet business and would like to be able to continue this at the new location in the proposed new shed. A home occupation is a permitted use and something typically found on many rural properties through the municipality. The zoning by-law does however limits the size of home occupations to 100 sq. m. The applicant is requesting an increase to 500 sq. m due to the space needs for the business.

7.2 Zoning Amendment Application D-14 5-2023 - Recommendation Report - Planning Report 2023-22

Resolution No. 2023- 171

Moved: Councillor Denning

Seconded: Councillor Navackas

That the Council of the Municipality of West Elgin hereby receives the report from Robert Brown, Planner regarding Zoning By-law Amendment Application D-14 5-2023 – VL NS Fleming Line Recommendation Report (Planning Report 2023-22); and

That the Council of the Municipality of West Elgin approve the zoning amendment for the subject parcel on Fleming Line by rezoning the subject property from General Agricultural (A1) Zone to General Agricultural Special Regulation 8 (A1-8) Zone; and

That the Council of the Municipality of West Elgin consider the by-law to amend the Zoning By-law, as presented in the by-law portion of the June 8, 2023, Council Agenda

Carried

7.3 Applicant Comments

None

7.4 Public Comments

None

7.5 Council Comments

None

8. Public Meeting - Planning - ZBA D-14 7-2023

Resolution No. 2023- 172

Moved: Councillor Navackas

Seconded: Councillor Tellier

That Council of the Municipality of West Elgin proceed into a Public Meeting pursuant to Section 34 of the Planning Act in order to hear an application to rezone property located at 24365 Crinan Line.

Carried

8.1 Purpose of the Public Meeting

The purpose of the Zoning By-law Amendment is to consider a condition of Consent Application E6-23, by rezoning the retained farmland parcel from General Agricultural (A1) Zone to Agricultural (A2) Zone, in order to prohibit any future dwellings, and by rezoning the severed surplus farm dwelling parcel from General Agricultural (A1) Zone to Restricted Agricultural (A3) Zone, in order to recognize the new surplus farm dwelling lot being created.

8.2 Zoning Amendment Application D-14 7-2023 - Recommendation Report - Planning Report 2023-22

Resolution No. 2023- 173

Moved: Councillor Tellier

Seconded: Councillor Navackas

That the Council of the Municipality of West Elgin hereby receives the report from Robert Brown, Planner regarding Zoning By-law Amendment Application D-14 7-2023 – 24365 Crinan Line Recommendation Report (Planning Report 2023-21); and

That the Council of the Municipality of West Elgin approve the rezoning of 24365 Crinan Line by rezoning the retained farmland parcel from General Agricultural (A1) Zone to Agricultural (A2) Zone, and by rezoning the severed surplus farm dwelling parcel from General Agricultural (A1) Zone to Restricted Agricultural (A3) Zone; and

Further that the Council of the Municipality of West Elgin consider the by-law to amend the Zoning By-law, as presented in the by-law portion of the June 8, 2023, Council Agenda.

Carried

8.3 Applicant Comments

None

8.4 Public Comments

None

8.5 Council Comments

None

9. Public Meeting - Planning - ZBA D-14 11-2023

Resolution No. 2023- 174

Moved: Councillor Tellier

Seconded: Councillor Denning

That the Council of the Municipality of West Elgin proceed into a Public Meeting pursuant to Section 34 of the Planning Act in order to hear an application to rezone property located at 20387 Pioneer Line.

Carried

9.1 Purpose of the Public Meeting

The purpose of the Zoning By-law Amendment is to consider a condition of Consent Application E12-23, by rezoning the retained farmland parcel from General Agricultural (A1) Zone to Agricultural (A2) Zone, in order to prohibit any future dwellings, and by rezoning the severed surplus farm

dwelling parcel from General Agricultural (A1) Zone to Restricted Agricultural Special Regulation 7 (A3-7) Zone, in order to recognize the new surplus farm dwelling lot being created and the reduced lot frontage.

9.2 Zoning By-law Amendment Application D-14 11-2023 - Recommendation Report 2023-23

Resolution No. 2023- 175

Moved: Councillor Denning

Seconded: Councillor Navackas

That the Council of the Municipality of West Elgin hereby receives the report from Robert Brown, Planner regarding Zoning By-law Amendment Application D-14 11-2023 – 20387 Pioneer Line Recommendation Report (Planning Report 2023-23); and

That the Council of the Municipality of West Elgin approve rezoning of 20387 Pioneer Line by rezoning the retained farmland parcel from General Agricultural (A1) Zone to Agricultural (A2) Zone, and by rezoning the severed surplus farm dwelling parcel from General Agricultural (A1) Zone to Restricted Agricultural Special Regulation 7 (A3-7) Zone; and

Further that the Council of the Municipality of West Elgin consider the by-law to amend the Zoning By-law, as presented in the by-law portion of the June 8, 2023, Council Agenda

Carried

9.3 Applicant Comments

None

9.4 Public Comments

None

9.5 Council Comments

None

10. Planning

10.1 Severance Application E35-23 – Comments to Elgin County – Recommendation Report – Planning Report 2023-25

Resolution No. 2023- 176

Moved: Councillor Tellier

Seconded: Councillor Navackas

That the Council of the Municipality of West Elgin hereby receives the report from Robert Brown, Planner regarding severance application File E35-23 – Comments to Elgin County (Planning Report 2023-25); and

That the Council of the Municipality of West Elgin hereby recommends approval to the Land Division Committee of the County of Elgin for Severance application, E35-23, subject to the Lower-Tier Municipality conditions in Appendix One; and

Further that the Council of the Municipality of West Elgin directs administration to provide this report as Municipal Comments to the County of Elgin.

Carried

10.2 Severance Application E37-23 - Comment to Elgin County - Recommendation Report - Planning Report 2023-26

The applicants, Eric Jensen & Lisa Veldman, attended the meeting.

Resolution No. 2023- 177

Moved: Councillor Navackas

Seconded: Councillor Denning

That the Council of the Municipality of West Elgin hereby receives the report from Robert Brown, Planner regarding severance application File E37-23 – Comments to Elgin County (Planning Report 2023-26); and

That Council of the Municipality of West Elgin hereby recommends approval to the Land Division Committee of the County of Elgin for Severance application, File E37-23, subject to the Lower-Tier Municipality conditions in Appendix One of this report; and

Further that the Council of the Municipality of West Elgin directs administration to provide this report as Municipal Comments to the County of Elgin.

Carried

Council Recessed for a 5 minute break.

11. Public Meeting - Committee of Adjustment

Resolution No. 2023- 178

Moved: Councillor Tellier

Seconded: Councillor Denning

That the Council of the Municipality of West Elgin hereby recess at 10:39 a.m. in order to proceed into a Committee of Adjustment Meeting.

Carried

Council reconvened in Regular Session of Council at 10:48 a.m.

12. Consent Agenda

Resolution No. 2023- 179

Moved: Councillor Navackas

Seconded: Councillor Tellier

That the Consent Agenda for June 8, 2023 be received and filed.

Carried

12.1 Monthly Staff Reports

12.1.1 J. McArthur - Fire Chief - Monthly Report - May 2023

**12.1.2 L. Gosnell, Manager of Operations & Community Services -
Monthly Operations Update - May 2023**

12.1.3 Building Department Summary Report - May 2023

12.2 Communications from Other Municipalities

12.2.1 Elgin County Council Highlights - May 23, 2023

12.3 Other Items

12.3.1 Community School Alliance

**12.3.2 Minister Seniors and Accessibility (MSAA) - June is Seniors
Month**

12.3.3 Quad County Support Services - Open House June 11, 2023

12.3.3.1 View Annual Report 2021-2022 at quadcounty.ca

13. Staff Reports

13.1 Operations & Community Services

13.1.1 Elgin County Roads Draft Maintenance Agreement

Resolution No. 2023- 180

Moved: Councillor Navackas

Seconded: Councillor Tellier

That the Council of the Municipality of West Elgin hereby receives the report from Lee Gosnell, Manager of Operations and Community Services re: Elgin County Roads Maintenance Agreement; and

That the Council of the Municipality of West Elgin approve in principle the amended County Roads Maintenance agreement (attached) and authorize staff to request the County to prepare the finalized agreement based on this amended version.

Carried

13.2 Finance/Administration

13.2.1 Mileage Report and Policy, Finance/Administration 2023-34

Resolution No. 2023- 181

Moved: Councillor Navackas

Seconded: Councillor Denning

That the Council of the Municipality of West Elgin hereby receives the report from Magda Badura, CAO/Treasurer Re: HR-1.6 Mileage Policy; and

That the Council of the Municipality of West Elgin hereby approves the amended HR-1.6 Mileage Policy; and

That the Council of the Municipality of West Elgin hereby approves the 2023 CRA recommended mileage rate of \$0.68 per kilometer, effective January 1, 2023.

Carried

13.3 Clerk

13.3.1 Determining the Method for Filling the Deputy Mayor Vacancy

Resolution No. 2023- 182

Moved: Councillor Navackas

Seconded: Councillor Denning

That the Council of the Municipality of West Elgin receives the report from Heather Bouw, Clerk re: Determining the Method for Filling the Vacancy of the Deputy Mayor; and

That Council of the Municipality of West Elgin decides to fill the vacancy of the Deputy Mayor through Option #1; and

Directs staff to proceed with the requirements under Option #1.

Carried

13.3.2 LTVCA – Service Agreement for Mandatory and Non-Mandatory Services

Resolution No. 2023- 183

Moved: Councillor Denning

Seconded: Councillor Tellier

That the Council of the Municipality of West Elgin hereby receives the report from Heather Bouw, Clerk re: Service Agreement for Mandatory and Non-mandatory Services; and

That the Council of the Municipality of West Elgin hereby directs staff to prepare a by-law and that the Mayor and Clerk be authorized to sign the Service Agreement.

Carried

14. Accounts

Resolution No. 2023- 184

Moved: Councillor Navackas

Seconded: Councillor Tellier

That the Mayor and Treasurer are hereby authorized to sign Payment Voucher #6 amounting to \$444,894.79 in settlement of General, Road, Water and Arena Accounts including EFT#6707-6763; Online Payments#1168-1182; Cheque# 26183-26219 and Payroll PP11.

Carried

15. Consideration of Items Requiring Discussion

15.1 Elgin International Club - Donation Request

That Council of the Municipality of West Elgin agrees to the Elgin International Club Donation request, in the amount of \$1,000.

Resolution No. 2023- 185

Moved: Councillor Denning

Seconded: Councillor Tellier

Carried

16. Council Inquires/Announcements

16.1 Notice of Motion

Resolution No. 2023- 186

Moved: Councillor Denning

Seconded: Councillor Navackas

That Council directs staff to investigate the request from the Port Glasgow Yacht Club to install a pay station at the fish cleaning station and report to Council.

Carried

16.2 Statements/Inquires by Councillors

1. Councillor Denning reminded Council about the Community Celebration in Miller Park on Sunday June 11, 2023
2. Mayor Leatham advised Council of the Quad County 60th Anniversary Celebration in Glencoe at the Agricultural Centre on Sunday June 11, 2023 from 2-4pm. The Municipality will be presenting Quad County with a donation of \$3,500.

17. By-Laws

17.1 By-law 2023-46 - ZBA D-14 5-2023

Resolution No. 2023- 187

Moved: Councillor Tellier

Seconded: Councillor Navackas

That By-Law 2023-46, being a By-Law to Amend the Municipality of West Elgin Comprehensive Zoning By-Law No. 2015-36 for Property located at Pt Lot 6, Concession 1/Broken Front, Pt 1, RP 11R7842 , be read a first, second, and third and final time.

Carried

17.2 By-law 2023-47 - ZBA D-14 7-2023

Resolution No. 2023- 188

Moved: Councillor Denning

Seconded: Councillor Navackas

That By-Law 2023-47, being a By-Law to Amend the Municipality of West Elgin Comprehensive Zoning By-Law No. 2015-36 for property located at 24365 Crinan Line, be read a first, second, and third and final time.

Carried

17.3 By-law 2023-48 - ZBA D-14 11-2023

Resolution No. 2023- 189

Moved: Councillor Tellier

Seconded: Councillor Navackas

That By-Law 2023-48, being a By-Law to Amend the Municipality of West Elgin Comprehensive Zoning By-Law No. 2015-36 for property located at 20387 Pioneer Line, be read a first, second, and third and final time.

Carried

17.4 By Law 2023-49 - Appointment of Clerk

Resolution No. 2023- 190

Moved: Councillor Navackas

Seconded: Councillor Tellier

That By-law 2023-49, being a by-law to appoint the Clerk be read a first, second and third and final time.

Carried

17.5 By-law 2023-50 - Amending By-law 2022-42 Mileage

Resolution No. 2023- 191

Moved: Councillor Denning

Seconded: Councillor Navackas

That By-law 2023-50, being a by-law to amend By-law 2022-42, be read a first, second and third and final time.

Carried

Councillor Denning recused himself from the meeting.

17.6 By-law 2023-51 - Agreement with the Rodney Cemetery Company

Councillor Denning declared a conflict on this item.

Resolution No. 2023- 192

Moved: Councillor Tellier

Seconded: Councillor Navackas

That By-law 2023-51, being a by-law to authorize an Agreement with the Rodney Cemetery Company be read a first, second and third and final time.

Carried

Councillor Denning returned to the meeting.

18. Confirming By-Law

Resolution No. 2023- 193

Moved: Councillor Denning

Seconded: Councillor Navackas

That By-law 2023-52 being a By-law to confirm the proceeding of the Regular Meeting of Council held on June 8, 2023, be read a first, second and third and final time.

Carried

19. Adjournment

Resolution No. 2023- 194

Moved: Councillor Tellier

Seconded: Councillor Navackas

That the Council of the Municipality of West Elgin hereby adjourn at 11:29 a.m. to meet again at 9:30 a.m. on June 22, 2023, or at the call of the Chair.

Carried

Richard Leatham, Deputy Mayor

Heather Bouw, Clerk



**CORPORATION OF THE COUNTY OF ELGIN
NOTICE OF APPLICATION FOR CONSENT
APPLICATION No. E 41-23**

**PART OF LOT 10, CONCESSION 4
MUNICIPALITY OF WEST ELGIN
MUNICIPAL ADDRESS: 22830 KINTYRE LINE**

TAKE NOTICE that an application has been made by David French, 55 Forest Street South, Suite N, Chatham, ON N7L 1Z9, for a consent pursuant to Section 53 of the Planning Act, 1990, as amended, to sever lands municipally known as 22830 Kintyre Line.

The applicant proposes to sever an irregular parcel with an area of 0.7538ha (1.86 acres) containing a dwelling that is surplus to a farming operation. The applicant is retaining a lot with an area of 173ha (428 acres) proposed to remain in agricultural use.

The location of the property is shown on the Key Map attached.

ADDITIONAL INFORMATION regarding the application is available for inspection daily, Monday to Friday, between 8:30 A.M. and 4:30 P.M., at the County Municipal Offices, 450 Sunset Drive, St. Thomas or at a Public Hearing to be held on:

**JULY 26, 2023 AT 9:25 AM
BY VIDEO/TELEPHONE CONFERENCE OR IN PERSON AT
ELGIN COUNTY COUNCIL CHAMBERS, 450 SUNSET DR., ST. THOMAS, N5P 5V1**

Any person or public body may attend the Public Hearing and/or make written or verbal representation either in support of, or in opposition to the proposed consent.

PLEASE CONTACT landdivision@elgin.ca AT LEAST 24 HOURS BEFORE THE MEETING TO ARRANGE FOR VIDEO/TELECONFERENCE OR TELEPHONE INFORMATION.

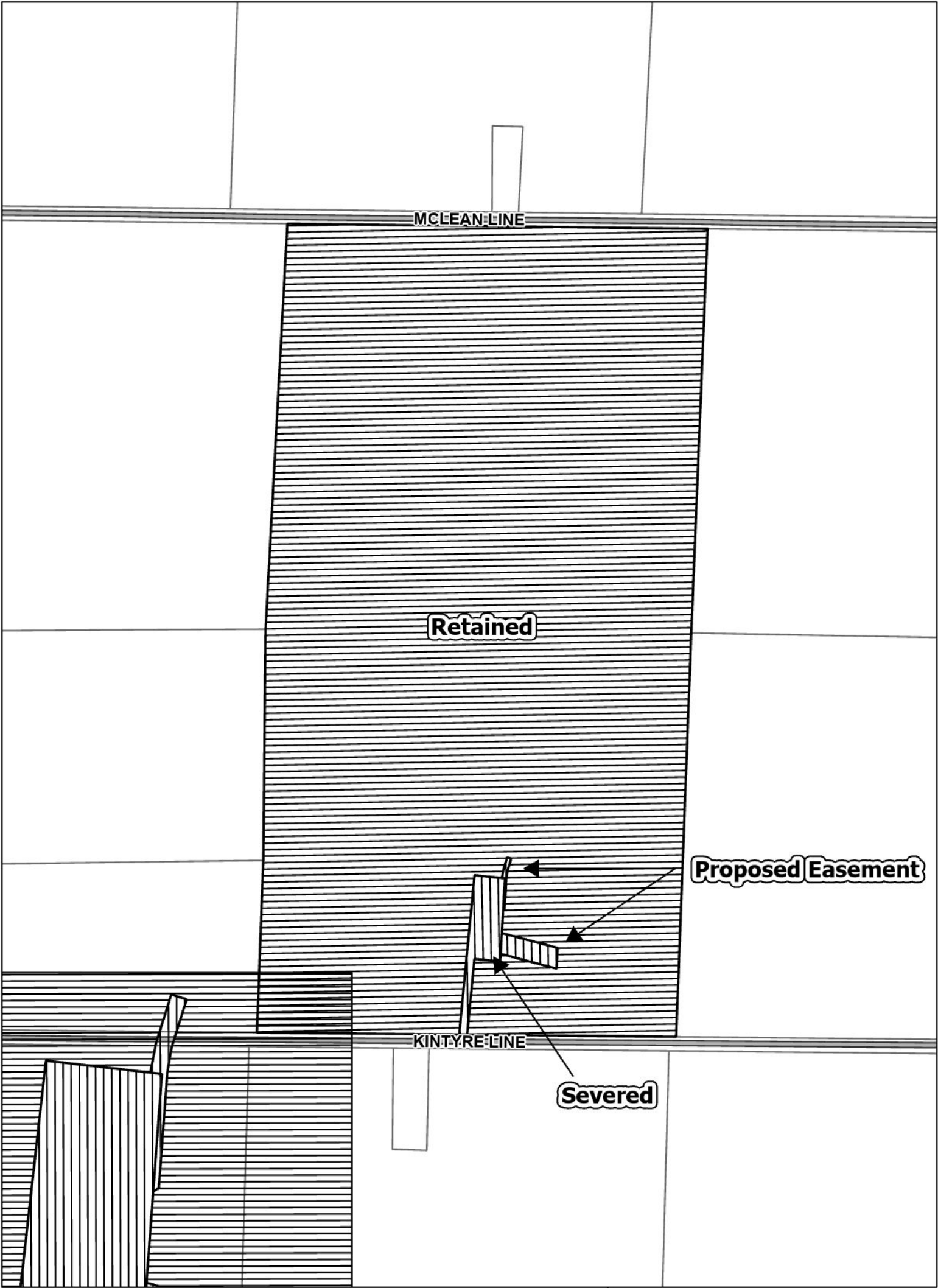
If you wish to be notified of the decision of the Land Division Committee in respect of the proposed consent, you must submit a written request to the Land Division Committee.

If a person or public body that files an appeal of a decision of the Land Division Committee in respect of the proposed consent does not make written or oral submissions to the Land Division Committee before it gives or refuses to give a provisional consent, the Ontario Land Tribunal may dismiss the appeal.

Dated at the Municipality of Central Elgin this 9th day of June, 2023.

Paul Clarke
Secretary-Treasurer
Land Division Committee

**County of Elgin
Planning Department**
450 Sunset Drive
St. Thomas, Ontario
N5R 5V1 Canada
Phone: 519-631-1460
Fax: 519-631-4549
www.progressivebynature.com



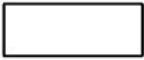




Location Map



Subject Site: 22830 Kintyre Line
File Number: E 41-23
Owner: Forbestfarm Inc.
Planner: Unknown
CA: Lower Thames Valley Conservation
Created By: PC
Date: 06/05/2023
Municipality of West Elgin



Legend

-  Subject Site
-  Severed
-  Retained
-  Elgin Road Network
-  Buildings



**NOTE: PLEASE REMOVE IDENTIFICATION
SIGNS FROM THE SUBJECT LANDS**

June 14, 2023

Adam McCallum
3844 Switzer Drive
Glencoe, ON
N0L 1M0

Dear Adam McCallum,

RE: Severance Application E 24-23
Anne Marie Johnson
Part of Lot 23, Concession A ED

You are advised in respect to the subject submissions of the Land Division Committee that the period for the giving of notice of appeal has now expired and that no appeal has been received. If no notice of appeal is given within the specified period, the decision of the Land Division Committee is final and binding.

Where conditions have been imposed and the applicant has not, within a period of two years from the date of the decision fulfilled the conditions, the application for consent shall thereupon be refused. Confirmation of conditions being fulfilled requires original correspondence only; faxed copies will not be accepted. Under the Planning Act, the Elgin County Land Division Committee cannot grant any extensions to the two-year period.

I believe that you have already received a copy of the decision containing the conditions of the Committee in respect to the above-mentioned application and once proof of those conditions have been met, it will be in order for you to submit the necessary documents for the consent to register to be affixed by this office. You must submit all documents for certification by **May 24, 2025**, or your consent will lapse and you will be required to make a new application for consent, if you wish to proceed with the transaction.

I would request that three signed copies of the necessary documents be forwarded together with the \$300.00 fee charged for affixing the consent stamp. Two originals will be stamped and returned; the third copy will be retained for our file. In the event it is necessary to have a survey, two copies of the reference plan are required, one copy to accompany the documents, one copy to be forwarded electronically.

Sincerely,

Paul Clarke
Secretary-Treasurer
Land Division Committee

c.c.

Municipality of West Elgin: Terri Towstiuć, jnethercott@westelgin.net; Robert Brown, planning@westelgin.net

**County of Elgin
Planning Department**
450 Sunset Drive
St. Thomas, Ontario
N5R 5V1 Canada
Phone: 519-631-1460
Fax: 519-631-4549
www.progressivebynature.com

Pulse

Published by Four Counties Health Services Foundation Communications Committee

Patient Medical Equipment Appeal - \$69,994



Margaret LaFleche & Denise Lutz, RNs

Now that spring is in the air, our thoughts turn toward renewal and new beginnings. We at Four Counties Health Services (FCHS) and FCHS Foundation are thankful that after three challenging years, we have entered a season of revival.

We are grateful to our dedicated staff for their ongoing commitment to care close to home, and to you, our donors for your continuing support.

As well, the Foundation is happy to welcome back our hospital volunteers. We have missed their commitment and presence in our healthcare village!

The theme of renewal and growth is ever-present in our hospital community as we strive for continued excellence in care, which includes the most up-to-date equipment and technology available.

For our 2023 Spring Appeal, FCHS Foundation continues to raise funds to purchase medical equipment for patient care right here at Four Counties Health Services, Newbury. Please consider contributing to our Spring Appeal. We appreciate your support!

Bladder Scanner



Performs Urinary
Outflow Testing

Active Care
Nursing Unit

\$17,694

Wandering System



Keeps Wandering
Patients Safe

Active Care
Nursing Unit

\$14,600

Piccolo Analyzer



Performs Liver
Function Testing

Emergency
Department

\$25,000

Ultrasound Stretcher



Ergonomic
Ultrasound Stretcher

Diagnostic
Imaging

\$9,100

Treatment Bed



Treatment Bed for
Physio Patients

Physiotherapy
Department

\$3,600

FCHS Middlesex
Hospital Alliance **FOUNDATION**

Name: _____

Address: _____

City: _____ Province: _____

Postal Code: _____

YES! Here is my gift to help support the FCHS Medical Equipment Appeal

Donation Amount: \$ _____

Payment Method: ☐ **CHEQUE** ☐ **VISA** ☐ **MASTERCARD**

Card No.: _____ Expiry: _____ CVC: _____

Signature: _____

Email: _____

☐ **YES!** I would like to join the **Monthly Giving Program**

CHARITABLE REG. # 11892 9546 RR0001

1824 Concession Dr., R.R. #3 Newbury, ON N0L 1Z0

 (519) 693-4441, ext. 2438 info.fchs.foundation@mha.tvh.ca

FCHS Foundation Update



On behalf of the Board of Governors, I send greetings to our supporters and residents of the FCFS area. As we usher in spring with blossoms and green grass, we also usher in hope that life, as we knew it, has returned. We acknowledge our healthcare workers to whom we are indebted, as they have persevered through all the trials of the past three years.

Thank you for your support and donations to purchase equipment needed for quality care. Each year FCFS Foundation works with our hospital partners to determine how best to support medical care for area residents. This newsletter illustrates necessary equipment requirements for FCFS totalling \$70,000.

This year we are reaching out in a new way with an open house to raise awareness, honour staff, and showcase hospital services. We invite you to our FCFS Open House and Family Fun Day on Saturday, June 3rd from 10 am to 2 pm. Join us in celebrating our health and first responder heroes, while learning about new services and changes to the hospital campus. The event will have a Superhero theme with fun activities for all ages. Visit us at our new Foundation office where you will receive a scavenger-hunt style passport to tour various areas of our healthcare village.



The Foundation Board and staff look forward to engaging with our neighbours onsite once again as we celebrate our hospital community. Hope to see you there!

Tom Jeffery
Board Chair, FCFS Foundation

McRoberts Family Testimonial



Our late father Ralph was very happy to hear of the planned hospital at the four corners back in the early 1960's and was enthusiastic about supporting this new community effort. He knew it was important to have health services available nearby, not only for emergencies but also for in-hospital care.

Dad realized that a patient could likely have their own doctor caring for them and family members wouldn't have to travel long distances to visit. It was important for both Mom and Dad to be involved in the community fundraising events as well as donating toward the purchase of special equipment or required upgrades.

Also, our mother Margaret volunteered to set up the library at the hospital in the early days. Mom really enjoyed the time she spent there being able to help out.

Even though our family now lives far from the area, we continue our parents' legacy of giving to FCFS Foundation. This year when the family got together to assist Mom with her yearly donations, Four Counties Hospital came to mind right away. It's nice to continue the small legacy that Dad got us all involved in so many years ago.

Daughters: Shelley Robinson, Elaine McFadden, & Lori Dore

YES! I would like to join the Monthly Giving Program

I would like to give \$ _____

METHOD OF PAYMENT: I authorize The Foundation of Four Counties Hospital to withdraw from my bank account through my financial institution on the 10th day of each month.

☐ I have enclosed a VOID cheque ☐ I prefer to use my credit card ☐ VISA ☐ MASTERCARD

Card No.: _____ Expiry: _____ CVC: _____

Signature: _____ Date: _____

You will receive a tax receipt at the end of the year. At any time you can change or cancel your monthly contribution by notifying

The Foundation: 519-693-4441 x 2438

At FCFS Foundation, we appreciate your support and treat your information with respect. We do not rent, sell or trade any personal information. The information you provide will be used to issue your charitable donation receipt and to keep you informed of events and fundraising opportunities in support of FCFS. If at any time you wish to be removed from our mailing list, simply contact us: 519-693-4441 ext. 2438 or info@fchsfoundation@mha.tvh.ca

What's Happening at Four Counties Health Services

Announcement of MHA President and Chief Executive Officer



The Middlesex Hospital Alliance (MHA) Board of Directors recently appointed Julie McBrien (she/her/they/them) to the position of President and Chief Executive Officer for Four Counties Health Services and

Strathroy Middlesex General Hospital effective February 28, 2023. The appointment of Julie was made following an extensive search and recruitment process with interest from remarkably talented leaders.

Julie joined MHA in 2021 as Vice President, Clinical Services and Chief Nursing Officer. Julie is a Registered Nurse and holds a Master of Health Sciences (MHS) degree from the University of Toronto. She is also a Certified Health Executive (CHE) through the Canadian College of Health Leaders. Julie is originally from Saint John, New Brunswick. She is married to her wife, Chris, and has a daughter that attends Wilfred Laurier University.

Since filling the interim CEO role this past June, Julie has demonstrated herself as an authentic, collaborative, transparent, and engaged leader committed to: patient and family-centred care; relationships and building partnerships; supporting our MHA teams; and leveraging innovative ideas to solve challenges.

The MHA Board and FCHS Foundation welcome Julie to the permanent role of President and CEO!

MHA Patient and Family Advisory Council

We are pleased to share the establishment of a Patient and Family Advisory Council (PFAC) for Middlesex Hospital Alliance (MHA). This council consists of individuals who have received care at FCHS and/or SMGH, or are family members or loved ones of the person who received care with us.

The purpose of the PFAC is two-fold: 1) serve in an advisory capacity to the MHA by providing recommendations that aim to improve the patient and family experience, and 2) support patients and families to have a voice and venue to share unique experiences, and tell stories that inform/advise on improvement opportunities at our hospitals.

MHA President and CEO Julie McBrien and co-chair of the PFAC is enthusiastic about the council's formation, stating that "The creation of this council is a vital step towards our commitment to person and family-centred care. MHA believes that listening to the voices and experiences of our patients and families is essential in providing the best possible care experience. One of the first undertakings by PFAC has been to develop a new Patient Declaration of Values for the MHA. It is truly wonderful to see our MHA patient values developed by patients... for patients".

We believe that the PFAC will make a positive impact on the services, care, and experiences we provide at our hospitals.

PFAC regularly looks for new members; if you are interested in finding out more information, please contact us at patientrelations@mha.tvh.ca



Dynacare®
Laboratory and
Health Services Centre

**Dynacare®
plus**



The care you need is just around the corner

Dynacare has opened a larger and newly renovated Laboratory and Health Services Centre at the front of FCHS, offering:

- Direct access from the parking lot.
- Longer hours. Visit [Dynacare.ca/Find-a-Location](https://www.dynacare.ca/Find-a-Location) for hours and current wait times.
- **Dynacare - Net Check In.** Our free Dynacare - Net Check In mobile app* allows you to check in before arriving to our lab. We will save your spot while you wait at home.
- **Dynacare Plus.** Better manage your health and securely track your personal health information. Dynacare Plus is a health management tool available online or by downloading our mobile app*.

*Available on the App Store and on Google Play.

FCHS Facilities Update



complete, this project will provide energy and maintenance savings for the facility.

We have submitted for further funding through this program and hope to hear the status of the applications over the summer.

Ryan Whitney

Ryan Whitney
Manager, Facilities & Maintenance Services

Four Counties Health Services received \$992,781 from the Healthcare Infrastructure Renewal Fund (HIRF) in fiscal year 2022/2023. With this funding, we were able to complete the exterior door replacement project started in late winter/early spring of 2022 as well as a large section of roofing over the Emergency Department.

With the residual funding, we tendered the replacement of all rooftop exhaust fans. Once



Donor Dollars At Work 2022 Annual Hospital Support

ECG Monitors	\$101,635
Bariatric Bed	\$42,980
Defibrillator	\$17,727
Helmer Refrigerator	\$12,736
Staff Education	\$12,000
Medical Refrigerator	\$9,635
Bariatric Stretcher	\$6,949
Centrifuge	\$5,093
CO2 Sampling Modules	\$3,923
Adult Laryngoscope	\$3,400

FCHS continues to modernize our hospital with state-of-the-art medical equipment to best serve the needs of our patients, all of which keeps "Care Close to Home".

FCFS Foundation is pleased to support Four Counties Health Services with ongoing needs of patient medical equipment and healthcare technology. Special thanks to the individuals, municipalities, organizations, and businesses that make this a reality.

Service Club Presentations



RCL West Elgin Br. 221 Poppy Fund
\$3,400



Florence Oddfellows Lodge 196
\$1,000



Glencoe District Lions Club - \$1,000



Ahcom Shrine Club, Chatham - \$1,000



Glencoe & District Curling Club Bonspiel
\$850 (total)



May 2023

RE: SOLAR ECLIPSE GLASSES / FUNDRAISER OPPORTUNITY OR BULK PRICING

Dear Mayor Duncan McPhail,

We are writing to you on behalf of ***The Monarch Butterfly Eclipse Project***, an initiative led by five passionate high school students from Oakville, Ontario. We are proud to announce an exciting opportunity for sports clubs, schools, municipalities, and organizations to partner with us in promoting the sale of ISO Certified solar eclipse glasses for the upcoming total solar eclipse on April 8th, 2024.

What makes this total solar eclipse truly unique is that its path closely mirrors the major migration route of the endangered monarch butterfly. As you know, your community experiences the yearly migration of the monarch butterfly, and linking to this initiative would be a great way to promote conservation efforts and raise awareness about the monarch butterfly.

The Monarch Butterfly Eclipse Project, founded by Emilie, Maggie, Ellen, Taylor and Paige, is offering ISO Certified solar eclipse glasses for sale, where 20% of gross sales will go to our fundraising partners and 100% of the net proceeds will be used in the future to fund initiatives that protect the habitat and overall population health of monarch butterflies. This includes supporting research, conservation efforts, and educational programs aimed at raising awareness about the importance of preserving these iconic and endangered creatures.

We are asking for your support and participation to make ***The Monarch Butterfly Eclipse Project*** a success. Your municipality can participate as a fundraising partner or by purchasing solar eclipse glasses at wholesale / bulk prices.

It is worth noting that the next time a total solar eclipse will come through your community will be, on average, 400 years from now. Hence, this is a once-in-a-lifetime opportunity that your community should not miss!

For more information please go to our website www.monarchbutterflyeclipse.com or contact us at info@monarchbutterflyeclipse.com.

We appreciate your consideration and look forward to hearing back from you.

Sincerely,

Emilie, Maggie, Ellen, Taylor and Paige

610 – 2 Ford Drive Oakville, ON L6J 7W4
www.monarchbutterflyeclipse.com
info@monarchbutterflyeclipse.com

TOTAL SOLAR ECLIPSE RARE DO NOT MISS!

APRIL 8th, 2024 TOTAL SOLAR ECLIPSE



- CE AND ISO CERTIFIED FOR DIRECT SUN VIEWING
- VISION SAFETY AND PROTECTION
- 100% OF NET PROFITS DONATED

**GET YOUR
GLASSES
TODAY!**



THE
MONARCH
BUTTERFLY
ECLIPSE
PROJECT

www.monarchbutterflyeclipse.com



THE MONARCH BUTTERFLY ECLIPSE PROJECT

ABOUT THE MONARCH BUTTERFLY ECLIPSE PROJECT

The Monarch Butterfly Eclipse Project, an initiative led by five passionate high school students from Oakville, Ontario, is proud to announce an exciting opportunity for sports clubs, schools, municipalities, and organizations to partner with them in promoting the sale of ISO Certified solar eclipse glasses for the upcoming total solar eclipse on April 8th, 2024. What makes this total solar eclipse truly unique is that its path closely mirrors the major migration route of the endangered Monarch Butterfly.

The Monarch Butterfly Eclipse Project, founded by Emilie, Maggie, Ellen, Taylor and Paige, aims to raise awareness about the conservation of Monarch Butterflies while providing individuals a safe way to witness the awe-inspiring event of the total solar eclipse. The project offers ISO Certified solar eclipse glasses for sale, with 20% of the gross sales will be donated back to the partnering organization, while 100% of the net profit will go to The Monarch Butterfly Eclipse Foundation.



The Monarch Butterfly Eclipse Foundation, being established by The Monarch Butterfly Eclipse Project, will use the net proceeds from the sales of ISO solar eclipse glasses to fund initiatives that protect the habitat and overall population health of Monarch Butterflies. This includes supporting research, conservation efforts, and educational programs aimed at raising awareness about the importance of preserving these iconic and endangered creatures.

Sports clubs, schools, municipalities, and organizations interested in partnering with The Monarch Butterfly Eclipse Project can register at www.monarchbutterflyeclipse.com or individuals interested in purchasing solar eclipse glasses can order directly from The Monarch Butterfly Eclipse Project website. The glasses will be shipped to the end user in the United States and Canada free of charge.

Also, wholesale / bulk orders can be placed. For more information please email: info@monarchbutterflyeclipse.com

Don't miss this once-in-a-lifetime opportunity to witness a total solar eclipse. Join The Monarch Butterfly Eclipse Project in protecting monarchs and experiencing nature's phenomenon by promoting ISO Certified solar eclipse glasses for the April 8th, 2024 total solar eclipse. Together, we can make a difference for monarchs and raise awareness about their conservation.



Thank you for your support!

www.monarchbutterflyeclipse.com



Ontario Provincial Police
Police provinciale de l'Ontario

News Release/ Communiqué

FROM/DE: Financial Crime Services (FCS)
Anti-Rackets Branch (ARB)

DATE: June 13, 2023

THE OPP WOULD LIKE TO RAISE FRAUD AWARENESS DURING SENIORS MONTH

(OTTAWA, ON) - June is Seniors Month in Ontario and the 2023 theme is “Working for Seniors.” The Ontario Provincial Police (OPP) would like to raise awareness about frauds that target Ontario seniors, who have spent their entire life saving funds for their golden years. The OPP asks that we work collectively at sharing important fraud prevention tips with seniors in your life.

Being able to recognize frauds targeting seniors will go a long way in helping to combat cyber enabled frauds. With the public's help we want to deliver information, tips and strategies for Ontario's Seniors.

In 2022, the Canadian Anti-Fraud Centre (CAFC) received fraud reports totalling a staggering **\$531** million in victim losses. A devastating **\$138** million (**26%**) in losses were reported by senior victims. According to the CAFC, seniors lose on average **33%** more than other demographics. It is estimated that only **5-10%** of victims report scams and frauds to the CAFC or law enforcement.

According to the CAFC, in 2022, the top frauds affecting seniors were:

- [Investment](#) frauds represented **\$79.1** million in reported losses in 2022. Ontario victims reported losing over **\$36.5** million.
- [Romance](#) frauds represented **\$19.5** million in reported losses in 2022. Ontario victims reported losing over **\$8.8** million.
- [Service](#) scams represented **\$8.5** million in reported losses in 2022. Ontario victims reported losing over **\$6** million.
- [Extortion](#) frauds represented **\$7.7** million in reported losses in 2022. Ontario victims reported losing over **\$542,000**.
- [Emergency](#)-Grandparent scams represented **\$7.1** million in reported losses in 2022. Ontario victims reported losing over **\$4.3** million.

The OPP encourages the public to visit the CAFC website to learn more about the frauds mentioned above www.antifraudcentre-centreantifraude.ca.

Remember...if you fall victim to a fraud or know someone who has, contact your local police service to report the crime and report it to the CAFC at **1-888-495-8501** or online on the [Fraud Reporting System \(FRS\)](#), even if a financial loss did not occur.



Ontario Provincial Police
Police provinciale de l'Ontario

News Release/ Communiqué

- CAFC [Twitter](#) and [Facebook](#)
- OPP [Twitter](#) and [Facebook](#)

-30-

Contact Information

Ontario Provincial Police

D/Cst. John Armit, Anti-Rackets Branch (ARB)

Tel : 613-299-8543

John.armit@opp.ca

**Ministry for
Seniors
and Accessibility**

**Ministère des Services
aux aînés et de
l'Accessibilité**



Minister

Ministre

College Park
777 Bay Street
5th Floor
Toronto ON M7A 1S5

College Park
777, rue Bay
5^e étage
Toronto ON M7A 1S5

June 5, 2023

Re: Seniors Active Living Centres Program Expansion for 2023-2024

Dear Friends:

Ontario's Seniors Active Living Centre (SALC) programs offer a wide variety of activities for older adults in communities across this province. These include fitness, healthy lifestyle and wellness classes, recreation and social activities, and learning opportunities such as financial management, elder abuse prevention and volunteering.

I am very pleased to inform you that through a call for applications, our government is adding approximately 15 new SALC programs that respond to the diverse range of needs, cultural backgrounds, interests, and abilities of older adults.

Starting June 5, 2023, through [Transfer Payment Ontario](#) the province will be accepting applications from municipalities or organizations partnering with a municipality that do not have an existing SALC program to start a new program.

The deadline for submissions is Thursday, July 20, 2023, at 5PM EST.

To find out if your municipality has an existing SALC program, please visit [Find a Seniors Active Living Centre program near you | Ontario.ca](#).

There is currently a network of almost 300 SALC programs in place across the province. I encourage all interested applicants in the targeted areas to send in an application – so that, together, we can help more older adults in remote and underserved parts of Ontario, get the programs and services they need.

Lastly, I would like to let you know that [June is Seniors Month in Ontario](#), which is a time to celebrate older adults across the province, and I can think of no better way to celebrate Ontario's seniors than by helping them lead active, healthy and independent lives.

Thank you for your support.

A handwritten signature in black ink that reads "Raymond Cho".

Honourable Raymond Cho
Minister for Seniors and Accessibility



ONLINE TRAINING

June 16, 2023

AMO Professional Development Line up for Fall 2023 Register Today

AMO is pleased to provide additional training opportunities in fall of 2023. AMO has carefully developed its training to meet the needs of its membership and has been informed and designed by current and former municipal leaders as well as subject matter experts.

Plan your fall professional development now. For full information on each of the training sessions, click on the link provided.

Councillor Training

The demanding arena of municipal politics requires you to be up-to-date on issues (many!) and have the skills and insight to manage expectations and relations, while delivering on strategies and commitments in a relatively short period of time. This is a tall order. AMO's Councillor Training provides the foundations and insights to support you as you take on the role of local leader. AMO's training also provides the opportunity to meet, learn and grow with colleagues from across Ontario.

More information [here](#).

Foundations in Planning for Elected Officials

AMO has revitalized its foundational planning training to provide an interactive and engaging session that familiarizes participants with legislation, processes and provides real life examples to give a deep understanding and insight into important planning matters.

Participants will learn and understand:

- The need and importance of planning
- The planning hierarchy (policy, legislation, regulations etc.)
- The process and timelines of planning.

More information [here](#).

Advanced Land Use Planning – A Deeper Dive

Land Use Planning - A Deeper Dive, will develop your skill on addressing complex planning matters that rely on political acuity and how to apply this to the planning challenges you face at the local level. Building on AMO's Land Use Planning – The Fundamentals, this course examines, from a strategic perspective, the planning process, and the complexities that people can bring to the process. Over three hours, participants will engage in case studies and real-life examples that are analyzed and understood through instructor lead instruction and group discussion.

More information [here](#).

Human Rights and Equity – Roles and Obligations of Elected Officials

In partnership, **Hicks Morley**, the **Kojo Institute**, and **Association of Municipalities of Ontario** (AMO), has developed training to support members in understanding your obligations under law specific to human rights and how to work towards creating equitable outcomes for your constituents. This in-demand training is a must attend session for all new and returning municipally elected officials.

More information [here](#).

Navigating Conflict Relationships as an Elected Official

This training is an opportunity to gain skills in building collaborative relationships and negotiating difficult ones in your role as an elected municipal official.

However municipal life is very much a people-oriented business, meaning elected representatives must engage in and build a wide variety of

relationships with constituents, municipal staff, other elected officials, other orders of government and community organizations to name a few.

Not all relationships are smooth sailing and conflicts are inevitable. Sometimes the waters become choppy especially when navigating challenging relationships and conflict situations.

Having conflict-free and collaborative relationships can play a significant role in helping locally elected officials carry out their collective responsibilities as decision-makers of their communities.

More information [here](#).

AMO-OFIFC Indigenous Community Awareness Training

Building on the Memorandum of Understanding (MOU) shared by the **Association of Municipalities of Ontario** (AMO) and the **Ontario Federation of Indigenous Friendship Centres** (OFIFC), we are offering training to help build indigenous cultural competency in municipal government.

As the MOU brings both organizations to the table on issues that matter to our communities with the primary mandate to help strengthen the relationship between Ontario's Indigenous and non-Indigenous communities, the **AMO-OFIFC Indigenous Cultural Competency Training** will provide knowledge and tools to utilize in moving improved and stronger relations forward in Ontario.

More information [here](#).

Inquires: events@amo.on.ca

*Disclaimer: The Association of Municipalities of Ontario (AMO) is unable to provide any warranty regarding the accuracy or completeness of third-party submissions. Distribution of these items does not imply an endorsement of the views, information or services mentioned.

Terri Towstiuc

From: growthplanning@ontario.ca
Sent: June 16, 2023 3:01 PM
To: Terri Towstiuc
Subject: Proposed Provincial Planning Statement | la proposition de déclaration provinciale sur la planification

June 16, 2023

On April 6, 2023, the government released a draft of the Provincial Planning Statement (ERO#019-6813) that would replace the existing Provincial Policy Statement and A Place to Grow: Growth Plan for the Greater Golden Horseshoe.

At that time, natural heritage policies and related definitions remained under consideration by the government and were not released for review and input. The proposed natural heritage policies are now available for review and feedback. The details of the changes can be found through the Environmental Registry of Ontario.

Please note that the comment period has been extended to August 4, 2023. You are encouraged to share this information with senior staff in the municipality and to inform the head of council and council members.

Sincerely,

Ministry of Municipal Affairs and Housing

Le 16 juin 2023

Le 6 avril 2023, le gouvernement publiait une ébauche de la *Déclaration provinciale sur la planification* (Registre environnemental de l'Ontario n° 019-6813) qui remplacerait la *Déclaration de principes provinciale* et le document *En plein essor : Plan de croissance de la région élargie du Golden Horseshoe* existants.

À cette date-là, les politiques en matière de patrimoine naturel et leurs définitions connexes demeuraient à l'étude par le gouvernement et n'ont pas été publiées pour un examen, des commentaires et des questions. Les politiques proposées en matière de patrimoine naturel sont maintenant disponibles pour un examen, des commentaires et des questions. On peut trouver les renseignements sur ces changements dans le Registre environnemental de l'Ontario.

Veuillez prendre note que la période de soumission de commentaires a été prolongée jusqu'au 4 août 2023. Nous vous encourageons à partager cette information avec les dirigeantes et les dirigeants de votre municipalité et à en informer la présidente ou le président du conseil et les membres du conseil.

Call for Nominations 2023

Community Schools Alliance

Memo: Members of the Community Schools Alliance

From: Doug Reycraft, Chair and Stephanie Jaworski, Executive Member

Please be advised that in accordance with the Constitution of the Community Schools Alliance, nominations to the Executive Committee of the Alliance are invited.

The three-year (3) terms of three (3) members of the Executive Committee will end August 31 of this year. Also, two (2) other positions on the Executive Committee are vacant due to resignations. Nominations to fill all five (5) positions for three-year terms are invited.

A nominee must either be an individual member of the Community Schools Alliance or an elected official of a member municipality as of July 1, 2023. Should more than five people be nominated, an election will be held to fill the five positions.

A Nomination Form is attached.

The election, if necessary, will be held following the virtual Annual Meeting of the Community Schools Alliance on August 15, 2023 at 7 p.m.

All individuals and members of municipal councils who are members of the Alliance and who register to attend the Annual Meeting and election will be sent a ballot following the meeting.

The names of all qualified individuals who are duly nominated will appear on the ballot for election to the Executive Committee.

Please print, complete and forward a completed Nomination Form to Chair Doug Reycraft (reycraft@sympatico.ca) and Executive Committee Member Stephanie Jaworski (stephanie.jaworski@outlook.com).

A completed Nomination Form must be received by Doug Reycraft and Stephanie Jaworski no later than Monday, July 10, 2023. Nominations will not be accepted beyond that date.

The five successful candidates will join the other six members of the Executive Committee previously elected for the 2023-2024 year.

Section 5(i) of Constitution states: "The Chair, Vice-Chair and Secretary-Treasurer shall be elected by the members of the Executive Committee following the Annual Meeting."

Nomination Form 2023

Executive Committee of the Community Schools Alliance

Candidates must be either (a) an elected member of the council of a municipality that has joined the Community Schools Alliance or (b) an individual who holds a personal membership in the Alliance as of July 1, 2023.

Nominee's Name (as it is to appear on the ballot):

Nominee's Municipality (if applicable):

Civic Address including postal code:

Email address: _____

Telephone: _____

I, the Nominee named in this Nomination Form, do hereby consent to such nomination and declare that I am qualified to be elected to the Executive Committee of the Community Schools Alliance.

Signature of Nominee and date:

Constitution for the Community Schools Alliance

(As Amended August 9, 2022)

1. NAME OF THE ORGANIZATION

The name of the organization is the Community Schools Alliance.

2. MISSION STATEMENT

The Community Schools Alliance is a non-profit organization committed to working with the Ontario Ministry of Education, municipalities and school boards to achieve a collaborative process that results in democratically determined decisions regarding education infrastructure. Such decisions should be based on principles that consider the broad impact, including but not limited to both social and fiscal effects, of any changes to the infrastructure on students and their community

3. GOALS

- a. Students will have the opportunity to be educated in their home community.
- b. All school boards and municipalities must work together to build creative partnerships that allow community resources and services to be delivered in conjunction with education.
- c. When surplus space develops in a school, the school board and the municipality must work together to identify community uses for the space before considering closure of the school.
- d. The input of students, parents, the host municipality and the community to the student accommodation review process used by school boards must be considered.
- e. The provincial government's formula for funding public education must recognize the critical value of schools to the local economy and the social fabric in rural and northern Ontario communities.

4. MEMBERSHIP

- a. Every municipality in Ontario will have the opportunity to become a member of the organization by submitting the required fee with an application.
- b. Other individuals and bodies, including municipal organizations, may become members of the organization with the approval of the Executive Committee and upon payment of the required fee. However the membership fee shall be waived for an individual who is elected to the Executive Committee if the individual resides in a municipality that has paid its required membership fee but the individual has ceased to be an elected official of the municipal council.

5. EXECUTIVE COMMITTEE

- a. The affairs of the organization shall be controlled and managed by the Executive Committee. Subject to the terms of this constitution and to the resolutions of members adopted in the Annual Meeting, the Executive Committee may exercise all the powers of the organization.
- b. All members of the Executive Committee shall be members of the organization or elected officials of member municipalities.
- c. The Executive Committee shall comprise at least seven (7) but not more than thirteen (13) members and will consist of the following:
 - i. Chair;
 - ii. Vice-Chair;
 - iii. Secretary-Treasurer;
 - iv. A minimum of four (4) other persons.
- d. The initial Executive Committee shall be established by the first members of the organization referenced in 4.a. above.
- e. The term of office for the members of the initial Executive Committee shall extend until the next Annual Meeting but the members shall be eligible for re-election.

- f. At the first Annual Meeting of the Community Schools Alliance, eleven members shall be elected to the Executive Committee.
- g. At the first meeting of the Executive Committee following the first Annual Meeting, Executive Committee members shall identify four (4) members who shall serve a one-year term, four (4) members who shall serve a two-year term and three (3) members who shall serve a three-year term.
- h. Subsequent members of the Executive Committee shall be elected for a three-year term at an Annual Meeting.
- i. The Chair, Vice-Chair and Secretary-Treasurer shall be elected by the members of the Executive Committee following the Annual Meeting.
- j. Should a position on the Executive Committee become vacant, the remaining members of the Executive Committee may appoint a person to fill the vacancy and that person shall hold office for the balance of the term but shall be eligible for re-election.
- k. The office of an Executive Committee member shall become vacant if a member:
 - i. resigns;
 - ii. becomes unfit and/or incapable of acting as such;
 - iii. ceases to be a member of the organization;
 - iv. is removed by the Executive Committee by a resolution adopted by at least two-thirds (2/3) of its members.
 - v. misses three consecutive meetings.
- l. Meetings of the Executive Committee shall be convened by the Chair on not less than ten (10) days' notice to members of the Committee.
- m. Quorum for meetings of the Executive Committee shall be a majority of the members of the Committee.
- n. Whenever possible, meetings of the Executive Committee shall be by conference call or by videoconference.

6. ANNUAL MEETINGS

- a. Whenever possible, Annual Meetings of the organization shall be held in conjunction with the Annual General Meetings of the Association of Municipalities of Ontario.

- b. Annual Meetings shall be convened by the Chair on not less than twenty-one (21) days' notice to all members of the organization. The notice shall state the date, time and place of the meeting and, in broad terms, the business to be transacted at the meeting.
- c. The business of an Annual Meeting shall include:
 - i. the presentation and adoption of the Annual Report of the Chair;
 - ii. the consideration of the Annual Financial Statement for the preceding calendar year;
 - iii. the election of members to serve on the Executive Committee;
 - iv. other matters as may be considered appropriate.
- d. All members of the organization and all elected officials of member municipalities in good standing shall be eligible to vote at an Annual Meeting.
- e. All voting at an Annual Meeting shall be by show of hands except for the election of members of the Executive Committee which shall be by ballot.

7. FINANCIAL MATTERS

- a. An account in the name of the Community Schools Alliance shall be held by the Association of Municipalities of Ontario.
- b. All monies received by the organization shall be deposited in the abovementioned account.
- c. All expenditures shall be made by the Association of Municipalities of Ontario on the recommendation of the Chair and/or the Secretary Treasurer.
- d. The organization's financial year shall be the calendar year.
- e. The Secretary Treasurer shall prepare an annual budget for the Community Schools Alliance and shall see to the general administration of the budget.
- f. The Secretary Treasurer shall prepare an Annual Financial Statement for each financial year. The Annual Financial Statement shall include a statement of income and expenditure.

- g. All expenditures shall require the authorization by the Executive Committee and will be used to promote the objectives of the organization.
- h. No portion of the income of the organization shall be paid to any person or to any member of the organization or the Executive Committee except as:
 - i. reasonable compensation for services actually rendered to the organization;
 - ii. reimbursement of actual costs or expenses reasonably incurred on behalf of the organization.

8. MEMBERSHIP FEES

The Executive Committee shall determine the required annual membership fees for individuals, municipalities, municipal organizations and other bodies.

9. AMENDMENT OF THE CONSTITUTION

- a. This Constitution may be amended by a resolution of two-thirds (2/3) of the members present at an Annual Meeting.
- b. At least twenty-one (21) days' notice prior to the Annual Meeting stating the nature of the resolution to be proposed must be given to all members of the organization.



Staff Report

Report To: Council Meeting
From: Terri Towstiuc, Clerk
Date: 2023-06-22
Subject: Appoint Engineer Re: Lamont Drain

Recommendation:

That the Council of the Municipality of West Elgin hereby receives the report from Terri Towstiuc, Clerk Re: Appoint Engineer, Lamont Drain: and

That the Council of the Municipality of West Elgin hereby appoints Spriet Associates, Engineers and Architects, to prepare an Engineers report for the Lamont Drain.

Purpose:

The purpose of this report is to appoint an engineer to produce a report on Major Improvements to Drainage Works under Section 78 of the *Drainage Act*.

Background:

At the regular meeting of Council on May 11, 2023, the Municipality of West Elgin Council approved proceeding with a request for Major Improvements for Drainage work for the Lamont Drain. As per Section 78 (1.1) of the Drainage Act, appointment of the Engineer can not take place prior to 30 days after the Municipality provided the request to the Lower Thames Valley Conservation Authority.

Notice was provided to the Lower Thames Valley Conservation Authority on June 14, 2023, with a, expedited response received on June 15, 2023, and the Lower Thames Valley Conservation Authority waived their right to request an Environmental Appraisal.

Financial Implications:

To be determined in Engineers Report

Policies/Legislation:

Drainage Act

Respectfully submitted by,

Terri Towstiuc, Clerk



Staff Report

Report To: Council Meeting

From: Lee Gosnell, Manager of Operations & Community Services

Date: 2023-06-22

Subject: Port Glasgow Trailer Park Site Changes

Recommendation:

That West Elgin Council hereby receives the report from Lee Gosnell, Manager of Operations & Community Services for information purposes; and

That West Elgin Council supports staff recommendation to suspend use of transient sites T17 and T18 at the Port Glasgow Trailer Park for the reasons outlined within this report.

Purpose:

The purpose of this report is to provide Council with information regarding transient site changes under review at the Port Glasgow Trailer Park.

Background:

Port Glasgow Trailer Park currently has 24 transient sites available for booking, in addition to the approx. 164 seasonal sites which are all utilized. The 24 transient sites can be broken down into the following categories (as shown on the attached map) –

- 2 – Tent sites
- 19 – Trailer sites with water and hydro connections
- 3 – Trailer sites with water, hydro and sewer connections

The following concerns have been raised with the location and use of transient sites T17 and T18, located on the corner of Gladstone Street and the food booth/dance hall access street.

1. Trailers placed on these two sites can partially block access to seasonal sites 77, 79 and 81, which also have a row of trailers directly behind them. While the map shows a significant gap between the transient and seasonal sites involved, large trailers placed on sites T17 and T18 can leave very little space and would be the only situation in the park where a row of trailers are blocked by additional trailers both front and back. This creates privacy concerns and access issues for residents who would find themselves having trailers in close proximity on all 4 sides.
2. This is the first intersection within the park and all traffic passes by this corner. Large trailers placed directly adjacent to the street edge limit visibility for traffic approaching this intersection.
3. Typical lots have service connections located at the rear, whereas these two sites have connections at the front of the lot next to the street. This can lead to necessary repositioning of the trailer and/or the inability to utilize all service connections when staying on these sites.
4. Based on the overall number of trailers vs. parking sites within the PGTP, vehicle parking for residents and guests is limited. This necessitates rules such as no utility trailers being allowed

in the park and designated, pay per use, boat trailer parking. There is currently no parking allowed along the east side of the access street due to the occasional use of site T17 and T18, which further reduces the number of parking spaces available.

The Manager of Operations met on site with park staff and reviewed the following concerns. It was determined that these two sites were used a total of 8 times in 2022, with booking lengths ranging from 2 days to 4 weeks, and typically during the long weekends in July, August, and September. Other than Labour Day weekend, there were always open transient sites within the park which could have been utilized instead. The only advantage with T17 and T18 comes when someone books for a longer stay and would like the ability to connect to sewer. There were two stays in 2022 that fell into this category, one at 3 weeks and one at 4 weeks. This could be mitigated by use of the third sewer site (if available), occasional trips to the dump station, or use of a sewage cart during the stay.

After discussion surrounding the pros & cons of utilizing these two transient sites, staff determined it would make the most sense to suspend use for camping purposes and return the grass area in question to open parking for visitors and residents. Hydro, water, and sewer connections will be incorporated into a small flower bed area and left intact for staff use and specialty functions. This will eliminate privacy/access concerns (sites 77, 79, and 81), improve visibility around the main intersection, increase parking availability and provide a more aesthetically pleasing entrance into the park.

Financial Implications:

As stated previously in this report, the two transient sites in question were used 8 times in 2022 for a total of 76 days. Given the rate of a fully serviced site with water, hydro, & sewer is worth \$5.00/day more than a site with water and hydro only, there will be a slight decrease in revenue by taking these 2 sites out of use. Using 2022 data, this would equate to a loss of approximately \$350.00 to \$400.00 over the course of the season, however, staff feel the benefits still outweigh the loss revenue in this case.

Respectfully submitted by,

Lee Gosnell
Manager of Operations & Community Services

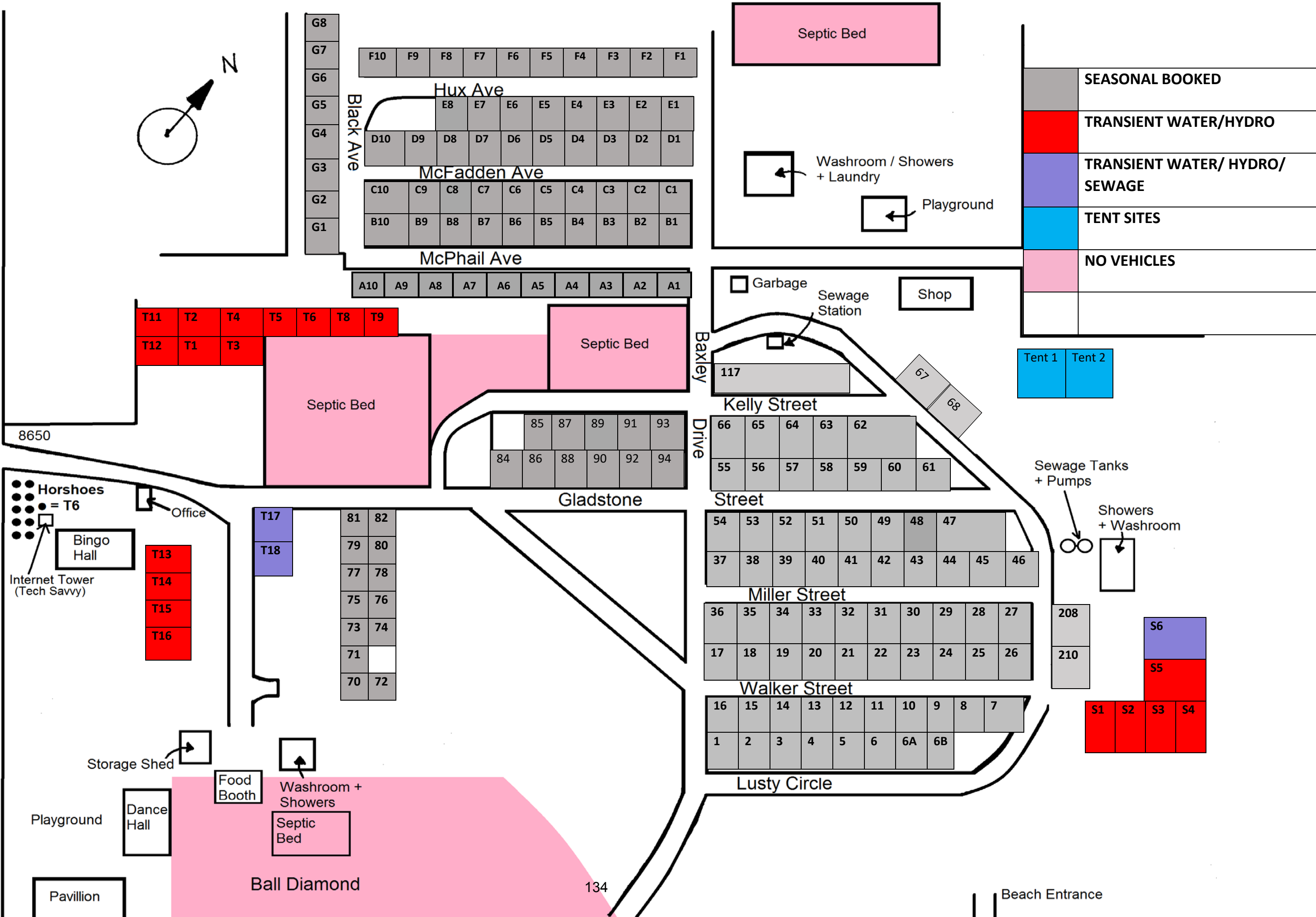
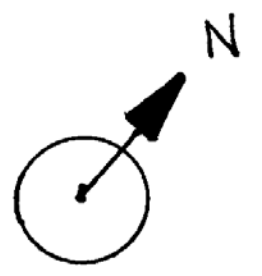
Report Approval Details

Document Title:	Port Glasgow Trailer Park Site Changes - 2023-20-Operations Community Services.docx
Attachments:	- Final Map.pdf
Final Approval Date:	Jun 19, 2023

This report and all of its attachments were approved and signed as outlined below:

Terri Towstiuc

Furnival Road





Staff Report

Report To: Council Meeting

From: Terri Towstiuc, Clerk

Date: 2023-06-22

Subject: Appoint Deputy Mayor for the Remainder of the 2022-2026 Term of Council

Recommendation:

That the Council of the Municipality of West Elgin receives the report from Terri Towstiuc, Clerk re: Filling the Vacancy of the Office of Deputy Mayor; and

That the Council of the Municipality of West Elgin consider the by-law to appoint Councillor Tellier to the office of Deputy-Mayor, for the remainder of the 2022-2026 Term of Council, as presented in the by-law portion of the June 22, 2023, Council Agenda

That Council of the Municipality of West Elgin direct the Clerk to provide a report to declare the seat of Councillor vacant at the next regular meeting of Council, in accordance with 262 (1) of the *Municipal Act, 2001*; and

That Council of the Municipality of West Elgin direct the Clerk to provide a report detailing options to fill the vacancy of the seat of Councillor for the remainder of the 2022-2026 Term of Council.

Purpose:

The purpose of this report is to appoint the Office of Deputy Mayor for the Council of the Municipality of West Elgin.

Background:

Council declared the Office of the Deputy Mayor vacant at their May 25th, 2023, meeting by by-law. Council was required to decide within 60 days of declaring vacancy for the appointment of a Deputy Mayor.

At the Regular Meeting of Council of June 8, 2023, Council decided to proceed with the option to appoint an already sitting member of Council into the Office of the Deputy Mayor once the seat has been declared vacant.

Council briefly discussed, with Councillor Tellier offering interest in the Office of Deputy Mayor, with no objections from the other members of Council.

Financial Implications

None

Policies/Legislation

Municipal Act, 2001

Respectfully submitted by
Terri Towstiuc, Clerk



Staff Report

Report To: Council Meeting
From: Magda Badura, CAO/Treasurer
Date: 2023-06-22
Subject: West Elgin Strategic Plan Survey

Recommendation:

That the Council of the Municipality of West Elgin receives the report from Magda Badura, CAO/Treasurer Re: West Elgin Strategic Plan Survey;

And That Council hereby to provide feedback and any additional information they deem relevant for the purpose of the survey;

And That Council approves the West Elgin Strategic Plan Survey and directs its distribution to the public.

Background:

On May 11, 2023 Jennifer Kirkham, Mischievous Cat Productions met with council and staff to develop and conduct a plan that would lead Council through the steps of developing West Elgin's 2023-2026 Strategic Plan. Council's initial discussion with Ms. Kirkham included sharing comments heard during their election campaigns, impacts Councillors want to have in their term of Council, as well as their thoughts on our strategic focus for the next 4 years.

We are now moving on to the next step which is a community survey. Typically, community survey is developed and conducted during the early stages of the strategic planning process. It is often one of the first steps after the planning phase. By conducting the community survey early, the feedback obtained will help shape the direction and focus of the strategic plan and will ensure it aligns with the community's aspirations and addresses their most pressing issues.

The attached survey is a valuable tool for collecting data and feedback from a broad range of community members. It allow us to gain insights into the community's satisfaction with existing services, identify areas for improvement, and gather suggestions for new initiatives or enhancements. This information will be used to prioritize resources, allocate budgets, and set strategic objectives that reflect the needs and desires of our community.

Financial Implications:

Cost of the Survey is captured in 2023 Operating Budget under Strategic Plan

Policies/Legislation:

Respectfully submitted by,
Magda Badura, CAO/Treasurer

West Elgin Strategic Plan

The Municipality of West Elgin is developing its next four year Strategic Plan.

Help us identify what we should focus on by completing the following questions.

This survey should take you less than 10 minutes to complete.

Your responses are anonymous and will be themed with all of the responses that we receive.

1. Of the services provided by the Municipality of West Elgin, what services are you most happy with? Select your top three services from the list below.

- ☐ Arena
- ☐ Beaches
- ☐ Community Standards (By-laws)
- ☐ Emergency Preparedness
- ☐ By-law Enforcement
- ☐ Fire Services
- ☐ Recreation Facilities, Parks, Sport Fields and Playgrounds, organizing events and programs
- ☐ Road Maintenance (snow removal, dust control, road repairs, infrastructure maintenance)
- ☐ Sidewalk Maintenance
- ☐ Traffic Management
- ☐ Trails
- ☐ Waste and Recycling
- ☐ Wastewater Services
- ☐ Water Services
- ☐ Winter Maintenance
- ☐ Planning and Development
- ☐ None of the above

In the box below please explain why you are not happy with some of the current services.

2. What services do you see as being important that currently don't exist in West Elgin and/or need to be enhanced? Describe below.

3. What should the Municipality of West Elgin be focusing on over the next four years? Select all that apply from the list below.

- ☐ Affordable housing
- ☐ Supporting local businesses, attracting new investment, and creating job opportunities to promote sustainable economy within the municipality
- ☐ Housing for seniors (including supports for aging in place)
- ☐ Increased population growth (including keeping people in West Elgin)
- ☐ Long term planning for growth and development
- ☐ Recreation services
- ☐ Relationship between the community and the Municipality
- ☐ Town Hall - symbol of West Elgin's heritage and identity. Restoring it can help preserve the town's history for future generations to appreciate and enjoy
- ☐ Taxes and water bills, exploring innovative funding opportunities to deliver services effectively without burdening taxpayers
- ☐ Tourism (including capitalizing on the natural features)
- ☐ Building and strengthening partnerships with neighbouring municipalities, community organizations, and stakeholders to foster collaboration and achieve common goals
- ☐ Other (please specify: _____)

4. If the municipality was to focus on recreation services, what would you like to see happen? Describe below.

5. What type of housing is needed in West Elgin? Describe below.

6. How can the municipality better connect with you and others in the community? Describe below.

7. What is your vision for West Elgin? What would you like it to be like in 20 years? Please describe your vision below.



MUNICIPALITY OF **West Elgin**

Staff Report

Report To: Council Meeting
From: Magda Badura, CAO/Treasurer
Date: 2023-06-22
Subject: Humane Society Agreement Extension

Recommendation:

That the Council of the Municipality of West Elgin receives the report from Magda Badura, CAO/Treasurer Re: Humane Society agreement extension.

That West Elgin Council provide staff with direction to enter into an eighteen (18) month agreement with The Humane Society of London and Middlesex under the key terms as outlined in the attached proposal in the amount of \$10,000 per year plus applicable taxes.

Background:

Our existing agreement with Humane Society expires on June 30, 2023. The attached agreement is an extension to the existing agreement with a proposal of additional services.

The attached agreement outlines the updated needs of West Elgin regarding pound keeping, adoption, and canine pick-up services. The Humane Society London & Middlesex will continue to provide pound keeping and adoption services, which involve acting as the pound keeper, maintaining a pound and adoption facility, answering public inquiries, keeping records, and allowing access to authorized personnel. Additionally, they propose to provide canine pick-up services, including receiving calls about stray canines, coordinating pick-ups, transporting canines to their owners or the pound keeping facility, and making arrangements for after-hours calls. The term of services is an extension from July 1, 2023, for a duration of eighteen months until December 31, 2024.

Financial Implications

None – Contract with Humane Society in the amount of \$10,000 per year is included in 2023 Operating Budget and there are no cost variations.

Respectfully submitted by,

Magda Badura
CAO/Treasurer

June 12, 2023

The Municipality of West Elgin

Submitted via email

Attention Magda Badura mbadura@westelgin.net ; treasurer@westelgin.net

Dear Magda,

RE: Extended Scope of Services for Animal Care & Control

The Municipality of West Elgin and the London Humane Society (o/a “Humane Society London & Middlesex”) entered into a Poundkeeping Services Agreement for 6 months ending June 30, 2023.

Through review and communication with municipal staff, it was determined that an extended term and scope of services from that Agreement better fits the needs of West Elgin.

Therefore, enclosed you will find detailed information outlining the scope extension for animal care & control services.

We look forward to continue working collaboratively together to support your community’s needs.

Regards,



Steve Ryall
Executive Director
Tel: 519-451-0630 x230
sryall@hslm.ca

Our mission is to lead London and Middlesex in building a humane and compassionate community for all animals.

Updated Needs of West Elgin: Poundkeeping, Adoption & Canine Pick-Up Services

Humane Society London & Middlesex will continue to provide to West Elgin **Poundkeeping & Adoption Services ("Services A")**, which includes:

- Act as the Poundkeeper under the by-law;
- Maintain a **pound and adoption facility** and its operation shall be and remain in compliance with all applicable regulations, bylaws and other enactments, and in particular the Pound shall be maintained in a sanitary condition providing for humane treatment of animals impounded;
- Keep the Pound **open to the public** during Normal Business Hours;
- During Normal Business Hours, **answer questions from the public** by telephone or in person relating to the Services;
- Maintain a monthly **pound log** in which shall be recorded, on a daily basis, all pound related transactions, including a description of every animal impounded, the date and place where the animal was impounded, the date when the animal was redeemed or otherwise disposed of, the disposition of the animal and the amount of money, if any, recovered in respect of the animal;
- Allow officers and employees of West Elgin acting in the course of their duties **access at all reasonable times** to records maintained by the Contractor under this Contract; and
- Provide pound facilities for **required quarantine periods** as requested by the local health unit, police service or the municipality.

In addition, is proposing to provide **Canine Pick-Up Services ("Services B")** to West Elgin, which includes:

- **Receive calls** from West Elgin residents, municipality and contracted by-law provider in regards to confined stray canines;
- **Co-ordinate details and logistics** of confined stray canines pick-ups, including pre-approval of pick-up with municipal staff during regular municipal office hours;
- **Transport confined stray canine** to the identified legal owner in the case of a microchipped canine or with the review of case fact information; or transport the confined canine to the poundkeeping facility.
- In the event of a **call received outside of municipal office hours** for a confined stray, work with the West Elgin resident caller to determine if the confined canine can be held on-site until the municipal office opens. In the event that holding by resident is assessed as not possible, then proceed with the confined canine transportation and inform municipal staff within 24 hours.

Term of Services

The service term is an execution of the renewal option to extend current services from July 1, 2023 for an eighteen (18) month term ending December 31, 2024.

Pricing for Services

The price for the included “Services A” Poundkeeping & Adoption Services is a continued lump sum fee of \$10,000 per year, plus taxes if applicable.

For “Services B” Canine Pick-Up Services, incurred on a fee-as-used basis and pre-approved by municipal office staff during its regular municipal office hours:

- Hourly rate of \$70/hour, starting from the time of call to impound/return to pound facility
- Mileage at CRA “Reasonable Allowance Rate” for the return distance to and from the pound facility to pick-up and drop-off location.

Based on historical data, the cost per pick-up is expected to average \$275/pick-up; however the fee for “Services B” Pick-up Services is case specific on required hours and actual location within West Elgin.

In the event of a call received outside of municipal office **hours** for a confined stray pick-up, we will work with the West Elgin resident to determine if the canine can be held on-site until the municipal office opens. In the event that is assessed as not possible, we will proceed with canine transport and inform municipal staff within 24 hours.

All services will be billed and are to be paid on a monthly basis.

Next Steps

The Humane Society of London and Middlesex is able to enter into a contract extension with the Municipality of West Elgin under the key terms as outlined in this updated term and scope of services proposal at the Municipality’s earliest convenience, and prior to the end of the current service term.

MUNICIPALITY OF WEST ELGIN

Q2 2023 Animal Care & Control Report (at Jun 19 2023)



Animal Care & Control
 624 Clarke Road
 London, ON N5V 3K5
 519-451-0630 || animalservices@hslm.ca

Attention:
 Magda Badura, CAO/Treasurer
 Heather Bouw, Clerk

Animal Control Services:

- a. Community Response
- b. Shelter and Pound Keeper Services

		2023												
a. Community Response		JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	TOTAL
1	Number of complaints received and responded to; (see Report A for details)	1	1	5	1	10	4							22
2	Number of calls for after-hours emergencies/patrols	0	1	1	0	5	3							10
3	Number of calls redirected	1	1	0	0	0	0							2
4	Number of Animals Impounded	1	0	4	1	2	0							8
5	Number of Animals surrendered to HSLM for adoption	0	0	2	0	0	0							2

Community Engagement Notes:

- Introduction to the community through various channels
- Connection with and ongoing relationship management with by-law enforcement agency (Tenet)
- Accepted & liaised transfer to shelter from community member when by-law agency or OPP could not be connected with
- Facilitated community Vet connection including drafting post for communication to West Elgin community
- Lost Dog post communication support (template, education and resources)

MUNICIPALITY OF WEST ELGIN

Q2 2023 Animal Care & Control Report (at Jun 19 2023)

		2023												
b. Pound Keeper and Shelter Services		JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	TOTAL
6	Number of Animals impounded at HSLM	1	0	4	1	2	0							8
7	Number of Animals transferred to HSLM for adoption	1	0	3	1	2	0							7
8	Number of Animals surrendered to HSLM for adoption	0	0	2	0	0	0							2
9	Number of impounded Animals reunited with their Owners	0	0	1	0	1	0							2
10	Number of impounded Animals euthanized and the reason for euthanasia (details in Report B)	0	0	0	1	0	0							1
11	Number of Animals quarantined	0	0	0	1	0	0							1
Pound Keeper and Shelter Services Notes: <ul style="list-style-type: none"> • Provided initial and ongoing medical treatment to lost and abandoned animal(s) , including spay/neuter, rabies vaccination update and microchip administration. • Ensuring legal claim of stray animals • Provided temporary shelter (food, water etc.,) • Facilitated owner surrender of 2 dogs when owner stated he was unable to care for them (stray) • Facilitated Bite Quarantine after Dog Bite occurred. Facilitated Middlesex-London Health Unit Bite Reporting and Rabies Response work-up. 														

Looking Ahead to Q3 onwards:

- Kennel Inspections
- Renewal of services (current contract ends June 30, 2023)

MUNICIPALITY OF WEST ELGIN

Q2 2023 Animal Care & Control Report (at Jun 19 2023)

Report 'A'

a. Community Response

i. Number and types of calls/emails received and responded to in the current quarter;

Type of calls/ emails	Amount of calls/emails
Dogs:	
Impounded/Stray	12
Claimed	2
Dog Licensing (no licenses required)	0
Cats:	
Impounded	1
Claimed	0
All Animals:	
Referral for Wildlife	0

MUNICIPALITY OF WEST ELGIN
Q2 2023 Animal Care & Control Report (at Jun 19 2023)

Report 'B'

b. Pound Keeper and Shelter Services

viii. Number of impounded animals euthanized and the reason for euthanasia in the current quarter;

Cats	Sick/Injured	0
	Aggressive	0

Dogs	Sick/Injured	0
	Aggressive	1

Elgin International Club
c/o 104 Regency Drive
Chatham, Ontario
N7L 5A3
519-476-5870
June 5, 2023

West Elgin Municipal Council
22413 Hoskins Line
Rodney, Ontario
N0L 2C0

Municipal Council,

We are requesting to extend our Liquor License number 801297 to include a patio location for the events scheduled for Sat. June 24, 2023, Thurs. Aug. 24th, Sat. Sept. 2, 2023, Sat. Sept. 30th and Sat. Oct. 14th. Please find attached a copy of a map of the proposed area.

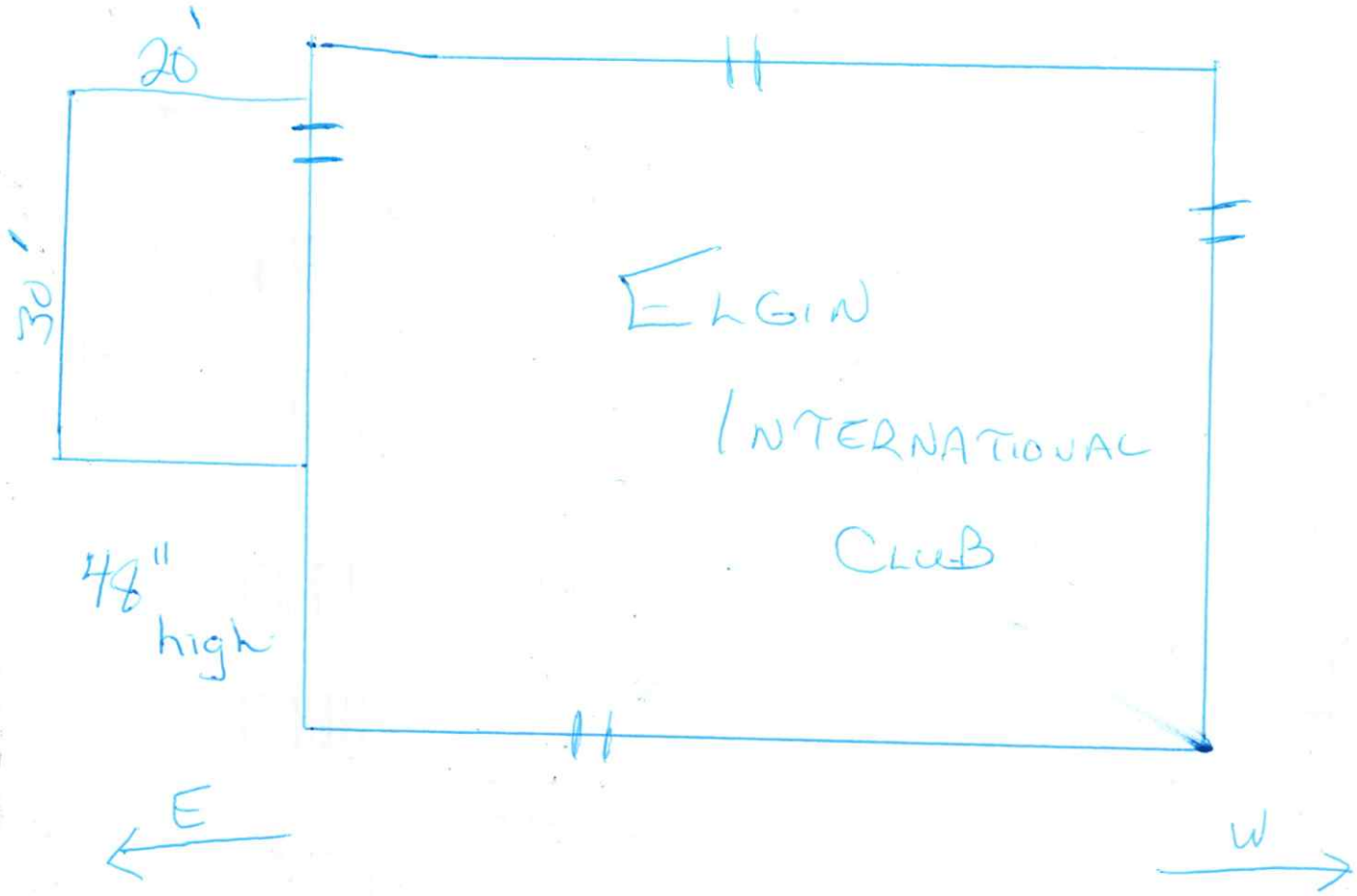
The first event applied for is the Aldborough Agricultural Society's fundraising 70s, 80s and 90s dance where funds raised will help to sponsor our community's annual fair. The second event is corporate event for Roodzant Seeds, the third, a private wedding, the last two are fundraising events for our Club. All events would benefit from an outside area wherein the patrons could take their alcoholic drinks as well as becoming a smoking area.

As you can see, the area is adjacent to an existing exit and will be fenced in order to contain any drinking/smoking to this enclosed area.

We are hopeful that Council will be able to approve this request and provide a letter of permission so that it may be submitted to the AGCO who inform me of the necessary steps to apply for this extension. My apologies for not delivering this personally but I am not able to drop it off today. Also I wanted to send this as soon as possible so it may be considered at the next Council meeting. Please do not hesitate to contact me if you require any more information.

Most respectfully,
Lori Parker – President

↑ S



KERR RD

PIONEER LINE

From: gasmith129 gasmith129 <gasmith129@bell.net>

Sent: Wednesday, June 14, 2023 9:04 AM

To: Richard Leatham <rleatham@westelgin.net>; Taraesa Tellier <ttellier@westelgin.net>; Bill Denning <bdenning@westelgin.net>; Michelle Navackas <mnavackas@westelgin.net>; Magda Badura <mbadura@westelgin.net>

Subject: Rodney Park

Our 'preliminary' committee is excited to move forward with the revitalization of the Rodney park area! Representatives from each service club, the fair board and Operations Manager, Lee Gosnell will be part of our committee to discuss ideas and decisions.

We respectfully request 2 members from Council be appointed to this committee.

In order to move forward with this project, we are requesting permission to start this exciting project for our park and look forward to working with Council for recommendations on this future endeavor. We will be making a formal presentation at a later date.

Thank you!

Kindest regards

Ann Smith, Elizabeth Sebestyen, Jen Lyvang.

From: Hutchison, Jo-Ann (MTCS) <Jo-Ann.Hutchison@ontario.ca>
Sent: Monday, June 5, 2023 3:35 PM
To: Hutchison, Jo-Ann (MTCS) <Jo-Ann.Hutchison@ontario.ca>
Cc: Hutchison, Jo-Ann (MTCS) <Jo-Ann.Hutchison@ontario.ca>
Subject: Ontario is Expanding the Seniors Active Living Centres Program: Call for Proposals - due July 20 at 5 p.m. EST

Ontario's Seniors Active Living Centre (SALC) programs offer a wide variety of activities which can include fitness, healthy lifestyle and wellness classes, recreation and social activities, and learning opportunities such as financial management, elder abuse prevention and volunteering.

Through a call for proposals the government is expanding access to opportunities for older Ontarians to stay active and engaged by adding approximately 15 new SALC programs and services for older adults that respond to their diverse range of needs, cultural backgrounds, interests, and abilities.

The province will accept applications from municipalities or organizations partnering **with a municipality that do not have an existing SALC program.** To find out if your municipality has an existing SALC program, please visit [Find a Seniors Active Living Centre program near you | Ontario.ca](#).

Applications to participate in this expansion open on June 5, 2023, through [Transfer Payment Ontario](#). **The deadline for submissions is Thursday, July 20, 2023, at 5PM EST.**

You can also visit <https://www.app.grants.gov.on.ca/tpon/psLogin> for more information.

If you have any questions, the ministry's Regional Development Advisors are available to support you. It is strongly recommended that you contact a Regional Development Advisor as early in the application period as possible to discuss your plans and questions related to your proposed program. I am currently covering for Grey, Bruce, Dufferin, Elgin and Middlesex Counties as well as the City of London. If you are in other areas, you can find your advisor through this link: <https://www.ontario.ca/page/regional-development-advisors>

Further details on this expansion will be provided once applications close.

We appreciate the participation of interested organizations and municipalities and look forward to your application as we work together to help more older adults in the most remote and underserved parts on this province get the programs and services they need to live healthy, independent lives.

Please also remember that June is [Seniors Month](#) a time to celebrate older adults across the province. This year's theme is **Working for Seniors**.

Jo-Ann Hutchison
Regional Development Advisor
Regional Services Branch
Ministry of Tourism, Culture and Sport
Email : jo-ann.hutchison@ontario.ca
Phone : 519-317-6856



As per the [accessible customer service policy](#), please contact me if you wish to provide feedback, require accommodations, communication supports, or an alternate format.

3236 River St. P.O.Box 28
Alvinston, ON N0N 1A0

Phone: 519.898.2173
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June 16, 2023

Magda Badura
CAO / Treasurer
Municipality of West Elgin
22413 Hoskins Line
Rodney, ON N0L 2C0

Dear Ms. Badura:

Re: Four Counties Transit Service

Please be advised that at the June 8, 2023 regular session of Council, the following motion was duly moved and seconded:

Frank Nemcek made a motion that the Council of the Municipality of Brooke-Alvinston express formal interest in requesting services of Four Counties Transit to residents of Brooke-Alvinston. Craig Sanders seconded the motion.

We look forward to the potential of this relationship with Four Counties Transit. Please let me know if you need any further information.

Kind Regards,


Janet Denkers
Clerk Administrator



MUNICIPALITY OF **West Elgin**

The Corporation of the Municipality of West Elgin

By-Law No. 2023-53

Being a By-Law to Amend the Municipality of West Elgin Comprehensive Zoning By-Law No. 2015-36 for property known as 24424 Pioneer Line.

Whereas the Council of the Corporation of the Municipality of West Elgin deems it advisable to amend By-law No. 2015-36, as amended, being the Comprehensive Zoning By-law of the Municipality of West Elgin:

Now Therefore the Council of the Corporation of the Municipality of West Elgin enacts as follows:

1. That Schedule "A" Map No. 50 to By-law No. 2015-36, is hereby amended by changing the subject property from **General Agricultural (A1) Zone** to **General Agricultural Special Regulation 9 (A1-9) Zone** for those lands hatched and described as A1-9, on Schedule "A" attached hereto and forming part of this By-law, being Pt. Lot 15, Concession 8, Part 6, RP 11R 4546, Municipality of West Elgin.
2. That Section 2, Definitions, of By-law No. 2015-36 be amended by adding a new definition after "Accessory Use" as follows:

Agriculture-Related Service Uses

Shall mean the use of land and/or buildings or structures for the manufacturing, service, distribution and wholesale and/or retail of goods, parts or equipment that are necessary to support Agricultural Uses. Examples of the permitted use can include farm machinery, parts and equipment used for the tillage of soil, the planting, spraying, harvesting, transporting, treatment, processing and storage of agricultural crops and products.

3. That By-law No. 2015-36, as amended, is hereby further amended by adding the following subsection as 5.3.9 a) as follows:

"5.3.9 a) Defined Area (24424 Pioneer Line)

A1-9 as shown on Schedule "A" Map No. 50

b) Permitted Uses

Agriculture-Related Service Use
All other uses permitted in the A1 Zone

c) Notwithstanding any other provisions of the by-law to the contrary building area used for an agriculture-related service use shall:

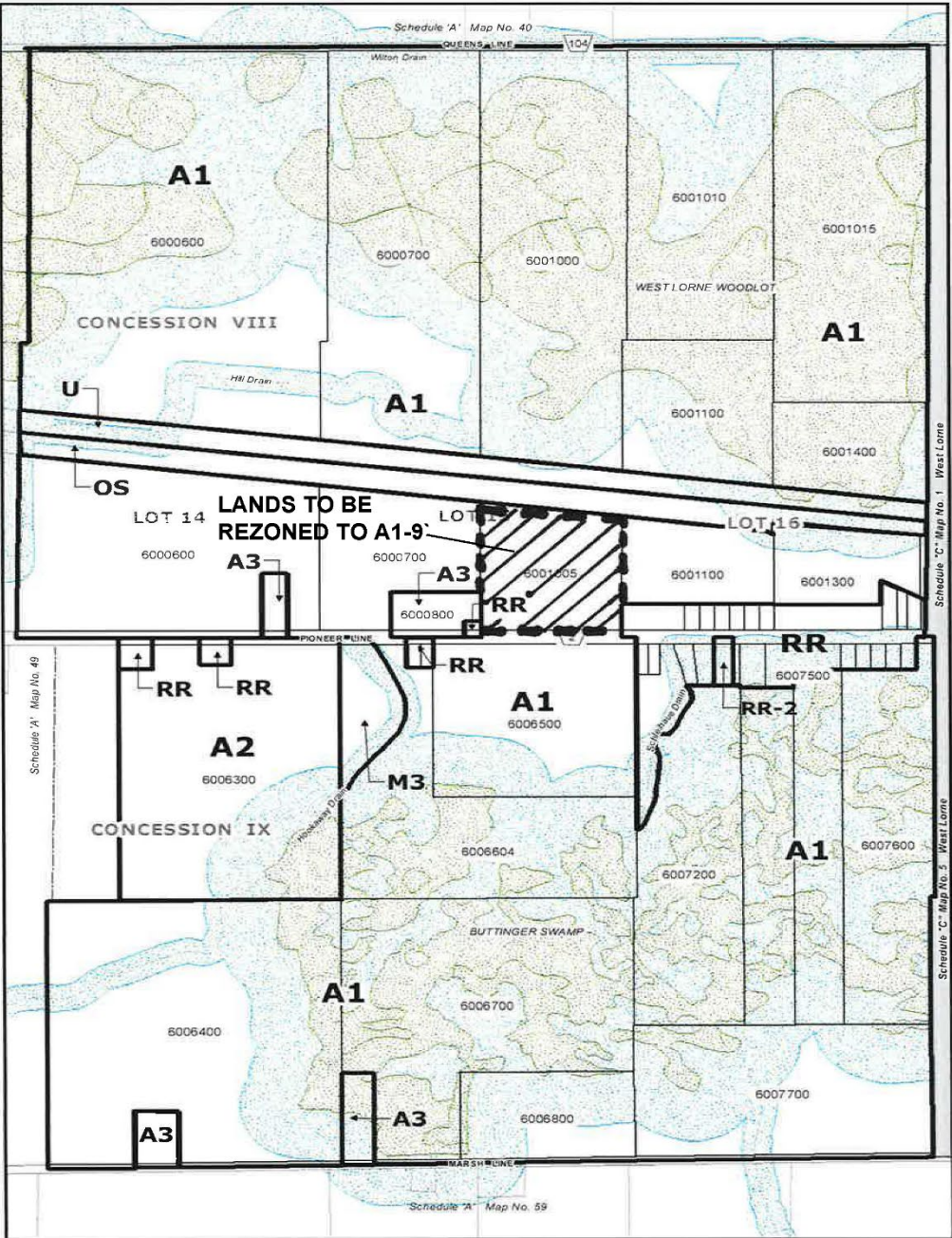
- i) be limited to a maximum gross floor area of 558 sq. m including shop and office space, and
- ii) prohibit outdoor display and sales.

4. This By-law comes into force upon the day it is passed in the event an appeal has not been filed with the Clerk within the time prescribed by the Planning Act, R.S.O. 1990, as amended. In the event an appeal is filed with the Clerk within the time prescribed by the Planning Act, R.S.O. 1990, as amended, the By-law shall be deemed not to have come into force until the appeal has been finally disposed of, whereupon the By-law, except for such parts as are repealed or amended as so directed by the Ontario Land Tribunal (OLT), shall be deemed to have come into force on the day it was passed.

Read a first, second, and third time and finally passed this 22nd day of June 2023.

Richard Leatham
Mayor

Terri Towstiac
Clerk

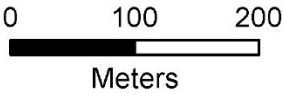


This is Schedule "A" to By-law No. 2023-53 passed on the 22nd day of June, 2023

MAYOR

CLERK

MUNICIPALITY OF WEST ELGIN
Comprehensive Zoning By-Law
2015-36 SCHEDULE 'A' MAP 50





MUNICIPALITY OF **West Elgin**

The Corporation of the Municipality of West Elgin

By-Law No. 2023-54

Being A By-Law to provide for drainage works on the Calixte Drain and Primak Drains in the Municipality of West Elgin.

Whereas the Council of the Municipality of West Elgin has procured a report under Section 78 of the *Drainage Act, R.S.O. 1990*, as amended, for the improvement of the Calixte Drain and Primak Drains; and

Whereas the report dated May 2, 2023 has been authored by J.M Spriet of Spriet Associates Engineers and Architects and the attached report forms part of this By-Law; and

Whereas the estimated total cost of the drainage work is \$203,000.00; and

Whereas \$203,000.00 is the estimated amount being assessed to the Municipality of West Elgin; and

Whereas the Council of The Corporation of the Municipality of West Elgin is of the opinion that the drainage of the area is desirable;

Now Therefore be it resolved that the Council of The Corporation of the Municipality of West Elgin pursuant to the *Drainage Act, R.S.O. 1990*, as amended, enacts as follows:

1. That the report dated May 2, 2023 and attached hereto is hereby adopted and the drainage works as therein indicated and set forth is hereby authorized and shall be completed in accordance therewith.
2. That The Corporation of the Municipality of West Elgin may borrow on the credit of the Corporation the amount of \$203,000.00, being the amount necessary for the improvement of the drainage works. This project may be debentured.
3. The Corporation may issue debenture(s) for the amount borrowed less the total amount of:
 - a) grants received under Section 85 of the *Drainage Act*;

- b) monies paid as allowances;
 - c) commuted payments made in respect of lands and roads assessed with the municipality;
 - d) money paid under subsection 61(3) of the *Drainage Act*; and
 - e) money assessed in and payable by another municipality.
4. Such debenture(s) shall be made payable within 5 years from the date of the debenture(s) and shall bear interest at a rate not higher than 2% more than the municipal lending rates as posted by Infrastructure Ontario on the date of the sale of such debenture(s).
 5. A special equal annual rate sufficient to redeem the principal and interest on the debenture(s) and shall be levied upon the lands and roads as shown in the schedule and shall be collected in the same manner and at the same as other taxes are collected in each year for 5 years after the passing of this By-Law.
 6. For paying the amount of \$20,626.00 being the amount assessed upon the lands and road belonging to or controlled by the Municipality of West Elgin, a special rate sufficient to pay the amount assessed plus interest thereon shall be levied upon the whole rateable property in the Municipality of West Elgin in each year for 5 years after the passing of this By-Law to be collected in the same manner and at the time as other taxes collected.
 7. All assessments of \$5,000.00 or less are payable in the first year in which assessments are imposed.
 8. That this By-Law comes into force and effect upon the final reading thereof.

Read a first and second time and provisionally adopted this 22nd day of June 2023.

Provisionally adopted this 22nd day of June 2023.

Richard Leatham, Mayor

Terri Towstiuc, Clerk

Read for a third and final time this _____th day of _____, 2023.

Richard Leatham, Mayor

Terri Towstiuc, Clerk



MUNICIPALITY OF West Elgin

The Corporation of the Municipality of West Elgin

By-Law No. 2023-55

Being A By-Law to provide for drainage works on the Eastlake Drain in the Municipality of West Elgin.

Whereas the Council of the Municipality of West Elgin has procured a report under Section 78 of the *Drainage Act, R.S.O. 1990*, as amended, for the improvement of the Eastlake Drain; and

Whereas the report dated April 20, 2023, has been authored by J.M Spriet of Spriet Associates Engineers and Architects and the attached report forms part of this By-Law; and

Whereas the estimated total cost of the drainage work is \$125,500.00; and

Whereas \$125,500.00 is the estimated amount being assessed to the Municipality of West Elgin; and

Whereas the Council of The Corporation of the Municipality of West Elgin is of the opinion that the drainage of the area is desirable;

Now Therefore be it resolved that the Council of The Corporation of the Municipality of West Elgin pursuant to the *Drainage Act, R.S.O. 1990*, as amended, enacts as follows:

1. That the report dated April 20, 2023 and attached hereto is hereby adopted and the drainage works as therein indicated and set forth is hereby authorized and shall be completed in accordance therewith.
2. That The Corporation of the Municipality of West Elgin may borrow on the credit of the Corporation the amount of \$125,500.00, being the amount necessary for the improvement of the drainage works. This project may be debentured.
3. The Corporation may issue debenture(s) for the amount borrowed less the total amount of:
 - a) grants received under Section 85 of the *Drainage Act*;

- b) monies paid as allowances;
 - c) commuted payments made in respect of lands and roads assessed with the municipality;
 - d) money paid under subsection 61(3) of the *Drainage Act*; and
 - e) money assessed in and payable by another municipality.
4. Such debenture(s) shall be made payable within 5 years from the date of the debenture(s) and shall bear interest at a rate not higher than 2% more than the municipal lending rates as posted by Infrastructure Ontario on the date of the sale of such debenture(s).
 5. A special equal annual rate sufficient to redeem the principal and interest on the debenture(s) and shall be levied upon the lands and roads as shown in the schedule and shall be collected in the same manner and at the same as other taxes are collected in each year for 5 years after the passing of this By-Law.
 6. For paying the amount of \$3,690.00 being the amount assessed upon the lands and road belonging to or controlled by the Municipality of West Elgin, a special rate sufficient to pay the amount assessed plus interest thereon shall be levied upon the whole rateable property in the Municipality of West Elgin in each year for 5 years after the passing of this By-Law to be collected in the same manner and at the time as other taxes collected.
 7. All assessments of \$5,000.00 or less are payable in the first year in which assessments are imposed.
 8. That this By-Law comes into force and effect upon the final reading thereof.

Read a first and second time and provisionally adopted this 22nd day of June 2023.

Provisionally adopted this 22nd day of June 2023.

Richard Leatham, Mayor

Terri Towstiuc, Clerk

Read for a third and final time this _____th day of _____, 2023.

Richard Leatham, Mayor

Terri Towstiuc, Clerk



MUNICIPALITY OF West Elgin

The Corporation of the Municipality of West Elgin

By-Law No. 2023-56

Being A By-Law to provide for drainage works on the Wright Drain in the Municipality of West Elgin.

Whereas the Council of the Municipality of West Elgin has procured a report under Section 78 of the *Drainage Act, R.S.O. 1990*, as amended, for the improvement of the Wright Drain; and

Whereas the report dated March 7, 2023, has been authored by J.M Spriet of Spriet Associates Engineers and Architects and the attached report forms part of this By-Law; and

Whereas the estimated total cost of the drainage work is \$138,000.00; and

Whereas \$138,000.00 is the estimated amount being assessed to the Municipality of West Elgin; and

Whereas the Council of The Corporation of the Municipality of West Elgin is of the opinion that the drainage of the area is desirable;

Now Therefore be it resolved that the Council of The Corporation of the Municipality of West Elgin pursuant to the *Drainage Act, R.S.O. 1990*, as amended, enacts as follows:

1. That the report dated March 7, 2023 and attached hereto is hereby adopted and the drainage works as therein indicated and set forth is hereby authorized and shall be completed in accordance therewith.
2. That The Corporation of the Municipality of West Elgin may borrow on the credit of the Corporation the amount of \$138,000.00, being the amount necessary for the improvement of the drainage works. This project may be debentured.
3. The Corporation may issue debenture(s) for the amount borrowed less the total amount of:
 - a) grants received under Section 85 of the *Drainage Act*;

- b) monies paid as allowances;
 - c) commuted payments made in respect of lands and roads assessed with the municipality;
 - d) money paid under subsection 61(3) of the *Drainage Act*; and
 - e) money assessed in and payable by another municipality.
4. Such debenture(s) shall be made payable within 5 years from the date of the debenture(s) and shall bear interest at a rate not higher than 2% more than the municipal lending rates as posted by Infrastructure Ontario on the date of the sale of such debenture(s).
 5. A special equal annual rate sufficient to redeem the principal and interest on the debenture(s) and shall be levied upon the lands and roads as shown in the schedule and shall be collected in the same manner and at the same as other taxes are collected in each year for 5 years after the passing of this By-Law.
 6. For paying the amount of \$12,920.00, being the Special Assessment amount for Culvert Access, upon the lands and road belonging to or controlled by the Municipality of West Elgin, a special rate sufficient to pay the amount assessed plus interest thereon shall be levied upon the whole rateable property in the Municipality of West Elgin in each year for 5 years after the passing of this By-Law to be collected in the same manner and at the time as other taxes collected.
 7. All assessments of \$5,000.00 or less are payable in the first year in which assessments are imposed.
 8. That this By-Law comes into force and effect upon the final reading thereof.

Read a first and second time and provisionally adopted this 22nd day of June 2023.

Provisionally adopted this 22nd day of June 2023.

Richard Leatham, Mayor

Terri Towstiuc, Clerk

Read for a third and final time this _____th day of _____, 2023.

Richard Leatham, Mayor

Terri Towstiuc, Clerk



MUNICIPALITY OF West Elgin

The Corporation of the Municipality of West Elgin

By-Law No. 2023-57

Being A By-Law to provide for drainage works on the Stricker Drain in the Municipality of West Elgin.

Whereas the Council of the Municipality of West Elgin has procured a report under Section 78 of the *Drainage Act, R.S.O. 1990*, as amended, for the improvement of the Stricker Drain; and

Whereas the report dated April 28, 2023, has been authored by J.M Spriet of Spriet Associates Engineers and Architects and the attached report forms part of this By-Law; and

Whereas the estimated total cost of the drainage work is \$130,500.00; and

Whereas \$130,500.00 is the estimated amount being assessed to the Municipality of West Elgin; and

Whereas the Council of The Corporation of the Municipality of West Elgin is of the opinion that the drainage of the area is desirable;

Now Therefore be it resolved that the Council of The Corporation of the Municipality of West Elgin pursuant to the *Drainage Act, R.S.O. 1990*, as amended, enacts as follows:

1. That the report dated April 28, 2023 and attached hereto is hereby adopted and the drainage works as therein indicated and set forth is hereby authorized and shall be completed in accordance therewith.
2. That The Corporation of the Municipality of West Elgin may borrow on the credit of the Corporation the amount of \$130,500.00, being the amount necessary for the improvement of the drainage works. This project may be debentured.
3. The Corporation may issue debenture(s) for the amount borrowed less the total amount of:
 - a) grants received under Section 85 of the *Drainage Act*;

- b) monies paid as allowances;
 - c) commuted payments made in respect of lands and roads assessed with the municipality;
 - d) money paid under subsection 61(3) of the *Drainage Act*; and
 - e) money assessed in and payable by another municipality.
4. Such debenture(s) shall be made payable within 5 years from the date of the debenture(s) and shall bear interest at a rate not higher than 2% more than the municipal lending rates as posted by Infrastructure Ontario on the date of the sale of such debenture(s).
 5. A special equal annual rate sufficient to redeem the principal and interest on the debenture(s) and shall be levied upon the lands and roads as shown in the schedule and shall be collected in the same manner and at the same as other taxes are collected in each year for 5 years after the passing of this By-Law.
 6. For paying the amount of \$8,630.00 being the Special Assessment amount for H.D.P.E. Subsurface Pipe, and \$10,984.00 being assessed upon the lands and road belonging to or controlled by the Municipality of West Elgin, a special rate sufficient to pay the amount assessed plus interest thereon shall be levied upon the whole rateable property in the Municipality of West Elgin in each year for 5 years after the passing of this By-Law to be collected in the same manner and at the time as other taxes collected.
 7. All assessments of \$5,000.00 or less are payable in the first year in which assessments are imposed.
 8. That this By-Law comes into force and effect upon the final reading thereof.

Read a first and second time and provisionally adopted this 22nd day of June 2023.

Provisionally adopted this 22nd day of June 2023.

Richard Leatham, Mayor

Terri Towstiuc, Clerk

Read for a third and final time this _____th day of _____, 2023.

Richard Leatham, Mayor

Terri Towstiuc, Clerk



MUNICIPALITY OF West Elgin

The Corporation of the Municipality of West Elgin

By-Law No. 2023-58

Being a By-law to Authorize the Execution of an Agreement with the Lower Thames Valley Conservation Authority for the Purpose of a Service Agreement for Mandatory and Non-Mandatory Services

Whereas Section 9 of the *Municipal Act, 2001*, S.O. 2001, c.25, as amended, provides that a municipality has the capacity, rights, powers and privileges of a natural person for the purpose of exercising its authority; and

Whereas Section 20 of the *Municipal Act, 2001*, S.O. 2001 as amended authorizes a municipality to enter into agreements; and

Whereas it is deemed expedient that The Corporation of the Municipality of West Elgin enters into an Agreement with the Lower Thames Valley Conservation Authority.

Now Therefore the Council of the Corporation of the Municipality of West Elgin enacts as follows:

1. That the Corporation of the Municipality of West Elgin hereby authorizes the agreement with the Lower Thames Valley Conservation Authority, Attached hereto as "Schedule A", pursuant to Ontario Regulation 686/21.
2. That the Mayor and Clerk are hereby authorized and directed to execute such agreement and any related documents and affix the Seal of the Corporation of the Municipality of West Elgin thereto.
3. This by-law shall come into force and effect on June 22, 2023.

Read a first, second, and third time and passed this 22nd day of June, 2023.

Richard Leatham
Mayor

Terri Towstiuć
Clerk



MUNICIPALITY OF **West Elgin**

The Corporation of The Municipality Of West Elgin

By-Law 2023-59

Being a By-Law to approve and authorize execution of a Collective Agreement between The Corporation of the Municipality of West Elgin and the Canadian Union of Public Employees and It's Local 35.8

WHEREAS, The Canadian Union of Public Employees, Local 35.8, is the sole and exclusive collective bargaining agent for all its employees of the Municipality of West Elgin, in Elgin County, in the Public Works, Utilities, and Parks and Recreation departments, save and except Supervisors, persons above the rank of supervisor, office, clerical, transit, trailer parks, janitorial and meter reading employees, and students employed during the school vacation period.

WHEREAS negotiations have taken place over a period of time, between the Municipality of West Elgin and the Union towards forming the collective bargaining relations and providing an orderly procedure for the disposition of grievances and defining working conditions and terms of employment for all employees who are represented by the Union, in the form of a Memorandum of Settlement; and

WHEREAS agreement has now been reached by both parties on the said procedures, conditions and terms of employment to be included in an agreement to cover the period March 17, 2022, to December 31, 2023.

NOW THEREFORE the Municipal Council of the Corporation of the Municipality of West Elgin enacts as follows:

1. **THAT** Municipality of West Elgin Council approve the Collective Agreement between the Municipality of West Elgin and the Canadian Union of Public Employees, for the period commencing March 17, 2022, and ending December 31, 2023, setting forth collective bargaining relations, dispositions of grievances and to define working conditions and terms of employments for all operations staff as outlined in the Memorandum of Settlement; and
2. **THAT** the Deputy Mayor and Chief Administrative Officer be and are hereby authorized to sign the Collective Agreement between the Municipality of West Elgin and the Canadian Union of Public Employees, for the period commencing March 17, 2022, and ending December 31, 2023.

Read a first, second, and third time and finally passed this 22nd day of June, 2023.

Richard Leatham
Deputy Mayor

Terri Towstiac
Clerk



MUNICIPALITY OF **West Elgin**

The Corporation of The Municipality of West Elgin

By-Law No. 2023-60

Being a By-Law to Provide for the Appointment of a Person in the Office of the Deputy-Mayor.

Whereas the Municipal Act, 2001 allows a council to fill a vacancy in the office of a member of council by appointing a person who has consented to accept the office if appointed within sixty (60) days after the day a declaration of vacancy is made;

And Whereas a vacancy has been declared in the office of the Deputy-Mayor in the Municipality of West Elgin;

Now therefore the Council of the Municipality of West Elgin hereby enacts as follows:

1. That the vacancy in the office of the Deputy-Mayor be filled by appointing a person who has consented to accept the office if appointed.
2. That the vacancy must be filled by someone who is eligible under the *Municipal Elections Act, 1996* to hold office as per section 17(2) which states:
 - a) resides in the local municipality or is the owner or tenant of land there or the spouse of such owner or tenant;
 - b) is a Canadian citizen;
 - c) is at least 18 years old; and
 - d) is not prohibited from voting under subsection (3) or otherwise by law. 2002, c.17, Sched. D, s.5(2); 2005, c.5 s.46(1).
3. That Taraesa Tellier, who has signified in writing that she is legally qualified to hold office and has consented to accept the office, is hereby appointed to the position of Deputy-Mayor for the Municipality of West Elgin, for the duration of the 2022-2026 term of Council.
4. This by-law will come into effect on the date of passing.

Read a first, second, and third time and finally passed this 22nd day of June, 2023.

Richard Leatham, Mayor

Terri Towstiuc, Clerk



MUNICIPALITY OF **West Elgin**

The Corporation Of The Municipality Of West Elgin

By-Law No. 2023-61

Being a By-Law to confirm the proceedings of the Regular Meeting of Council held on June 22, 2023.

Whereas Section 5(1) of the Municipal Act, 2001, S.O. 2001, c.25, as amended, the powers of a municipality shall be exercised by council; and

Whereas Section 5(3) of the Municipal Act, the powers of Council shall be exercised by by-law; and

Whereas it is deemed expedient that proceedings of Council of the Corporation of the Municipality of West Elgin as herein set forth be confirmed and adopted by by-law;

Now therefore the Council of the Municipality of West Elgin enacts as follows:

1. That the actions of the meeting of Council held on June 22, 2023, in respect of each recommendation, motion and resolution and other action taken by the Council at this meeting, is hereby adopted and confirmed as if all such proceedings were expressly embodied in this by-law.
2. The Mayor and proper officials of the Corporation of the Municipality of West Elgin are hereby authorized and directed to do all things necessary to give effect to the action of the Council referred to in the preceding section hereof.
3. The Mayor and Clerk are hereby authorized and directed to execute all documents necessary in that behalf and to affix the Seal of the Corporation of the Municipality of West Elgin.

Read a first, second, and third time and finally passed this 22nd day of June, 2023.

Richard Leatham, Mayor

Terri Towstiuc, Clerk